



CITY OF DEWITT

DEWITT CITY HALL · 414 EAST MAIN STREET · DEWITT, MICHIGAN 48820

CITY OF DEWITT PLANNING COMMISSION - AGENDA DeWitt City Hall 414 East Main Street Thursday, September 17, 2026 @ 6:00 PM

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES: July 23, 2026 Minutes

PUBLIC COMMENTS

NEW BUSINESS:

1. Review Site Plan for St. Francis Retreat – New Bishop’s House

Recommended Action: Approval of the St. Francis Site Plan – New Bishop’s House located at 703 East Main Street.

2. Review of Final Plat Submittal – Wildflower Meadows Number 4

Recommended Action: Recommend approval to the DeWitt City Council of the Final Plat for Wildflower Meadows Number 4.

ADJOURNMENT

Official minutes of meetings are available for public inspection at the Clerk's Office, 414 East Main Street, DeWitt, MI (517) 669-2441. The City of DeWitt will provide to individuals with disabilities, reasonable auxiliary aids and services which are needed to fully participate in any meeting providing a 72-hour notice is received by phone or in writing.

Contact the City Clerk at the above address or phone # to request the necessary assistance. **Posted: 9/11/2026**

CALL TO ORDER

VanDyke volunteered to Chair and called the meeting to order at 7:00 p.m.

ROLL CALL

Members present: VanDyke, Gackstetter, Patterson, and Lee

Members excused: Wheeler, Ware, and Clement

AUDIENCE – None

APPROVAL OF AGENDA

Motion by Patterson, seconded by Lee, and carried by unanimous vote to approve the July 23, 2026 planning commission agenda.

APPROVAL OF MINUTES

Motion by Gackstetter, seconded by Patterson, and carried by unanimous vote to approve the February 2026 meeting minutes.

PUBLIC COMMENTS – None

NEW BUSINESS

1. Review Site Plan for DeWitt Farmers Market and Parking Lot

Administrator Coss reviewed the site plan with Commissioners; spoke about building materials to be used; ingress/egress is intended to be one-way with a right-turn only sign to be placed on corner; banners to be hung on parking lot lights; and the Ox Roast Committee is working on a memory tree for veterans with the intention to keep the tradition alive from the Ox Roast's original mission of veteran remembrance. The memorial tree will be made up of painted tiles and installed on the building.

Motion by Gackstetter, seconded by Patterson, and carried by unanimous vote to approve the site plan for the DeWitt Farmers Market and Parking Lot project.

ADJOURNMENT

Motion by Patterson, seconded by Gackstetter, and carried by unanimous vote to adjourn the meeting at 7:54 p.m.

Respectfully submitted,

Alyssa Ramirez, City Clerk

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Staff Report Planning Commission

Agenda Item: NB #1
Meeting Date: September 17, 2026

TO: Planning Commission Members
FROM: Dan Coss, City Administrator
DATE: September 11, 2026
RE: St. Francis Retreat Site Plan Review

FACTS: St. Francis Retreat is renovating and building an addition on an existing single-family residence in the property.

The residence is located on the west side of the property, just north of the duplex condos on East Madison. The residence is immediately adjacent to the DeWitt City Cemetery.

The Retreat Property is a unique property in the City of DeWitt, as it is a 73-acre parcel with multiple buildings and a mix of uses for the buildings. There are single-family residences, business use type buildings and assembly type uses.

The property is currently zoned PQ and the zoning ordinance specifies that an expansion of greater than 25-percent in the PQ District requires Planning Commission review and approval.

The project does not include, nor is required to have site lighting, landscaping, parking improvements, waste receptacles or signage.

Attached is a checklist of the site plan requirements that the renovation/addition needed to meet. This project is unique, in that, the addition as compared to the property size is approximately .04 percent of the total square footage.

Recommended Action: Approval of the St. Francis Site Plan – New Bishop’s House located at 703 East Main Street.

CITY OF DEWITT
APPLICATION FOR SITE PLAN APPROVAL



City of DeWitt
414 East Main Street
DeWitt, MI 48820

All questions must be answered completely. Other permits may be required.

1. Project name: Diocese of Lansing - New Bishop's House

2. Applicant Information:

Name of Applicant: Diocese of Lansing

Applicant's Signature: [Signature]

Address of Applicant: 228 N. Walnut

City: Lansing State: MI Zip: 48933

Phone: 517.643.7869 Fax: _____

Interest in Property (if not owner): _____

Name of Owner (if other than applicant): _____

Staff Only

--

Case No: _____
Date Received: _____
Meeting Date: _____
Approved/Not Approved: _____

Signature of Owner: _____

Mailing Address: _____

See Above

3. Primary Contact (Person the City/Development Official should contact regarding your site plan. Name: George Landolt

Primary Contact Address:

228 North Walnut Street,

City: Lansing State: MI Fax: _____

Phone: () 517-643-7869 Fax () _____

4. **Proposed Use:** Describe the use for which the application is being made:

The proposed use shall match the existing use. A residence on the property will be renovated for the use of

the new Bishop.

5. **Existing Use of Property:** Describe how the property is currently being utilized:

The parcel referenced is currently home to the St Francis Retreat Center. Several mixed use buildings are

present on site. This application is in reference to a current residence in the north west portion of this site.

6. **Proposed Location:**
Address of property to be developed:

703 East Main Street, Dewitt, Michigan 48820

Property Tax Identification Number:
200-100-000-200-00

Legal Description of Property:
N/A

7. If there are deed restrictions, please attach.

8. Development Plans:

(A) Will build a new building(s): Dimensions:
N/A

Number of buildings to be constructed: N/A

Type of construction: N/A

Proposed construction start date: _____

(B) Will use existing building(s):

Number of buildings involved: 1 Type of construction: Renovation

State of repair: X Good _____ Fair _____ Poor _____

(C) Proposed use will accommodate 1 persons:

(D) Proposed on-site parking for _____ cars will be provided.

Proposed on-site parking with covered parking for 2 cars will be provided.

(E) Parking area is / is not lighted.
(Please circle one)

(F) Number of drive entrances from a public street to the parking area and/or site: 1

(G) Supplies will be brought to the site by:

_____ Pick-up truck _____ Light delivery truck _____ Semi-trucks

Deliveries arrive _____ times a _____ week/ _____ month.

(H) Storage areas: N/A Outdoor _____ Indoor _____

Explain: _____

(I) Signage: Size: N/A

(J) Additional Information:

(K) Utilities: The following utilities will be provided or extended to service the site:
X Water X Sewer X Storm Sewer X Public Street

9. **Response to standards for site plan approval questions:**

To assist the Planning Commission in their review of your site plan, please provide responses to the following statements.

- A. The site plan has been designated so as not to impede the orderly development of surrounding property.

The existing residence is positioned in the interior of a
larger parcel.

- B. The building or group of buildings have been arranged on the site so as to permit emergency vehicles access to the site.

The existing driveway will be slightly widened which
will enhance emergency vehicle access.

- C. Plans have been made to ensure that the surface water removed from the site will not adversely affect neighboring properties.

The drainage pattern on site has been maintained.

- D. Efforts have been made to minimize the removal or alteration of natural features on the site to accommodate the proposed development.

A minimal amount of trees will be removed to facilitate
the construction of a two car garage.

Preliminary and Final Site Plans submitted must comply with the attached requirements.

An application shall not be accepted as complete until all required materials are provided and the submittal is deemed complete by the City by way of signature.

Signed: _____

Date: _____

DIOCESE OF LANSING

PLAN OF PROPOSED NEW BISHOP'S HOUSE 703 EAST MAIN STREET CITY OF DEWITT, CLINTON COUNTY, MICHIGAN

PARCEL INFORMATION

PARCEL NUMBERS: 200-100-000-200-00
PARCEL LOCATION: NORTH SIDE OF EAST MAIN STREET EAST OF NORTH MARKET STREET
ACREAGE: ±76 ACRES
ZONING CLASSIFICATION: PQ - PUBLIC AND QUASI PUBLIC
PROJECT DESCRIPTION: THIS PROJECT WILL INVOLVE RENOVATING AN EXISTING RESIDENCE ON THE ST FRANCIS RETREAT CENTER GROUNDS TO MAKE IT SUITABLE HOUSING FOR A BISHOP OF THE DIOCESE OF LANSING.

Site Data — Stormwater Management:

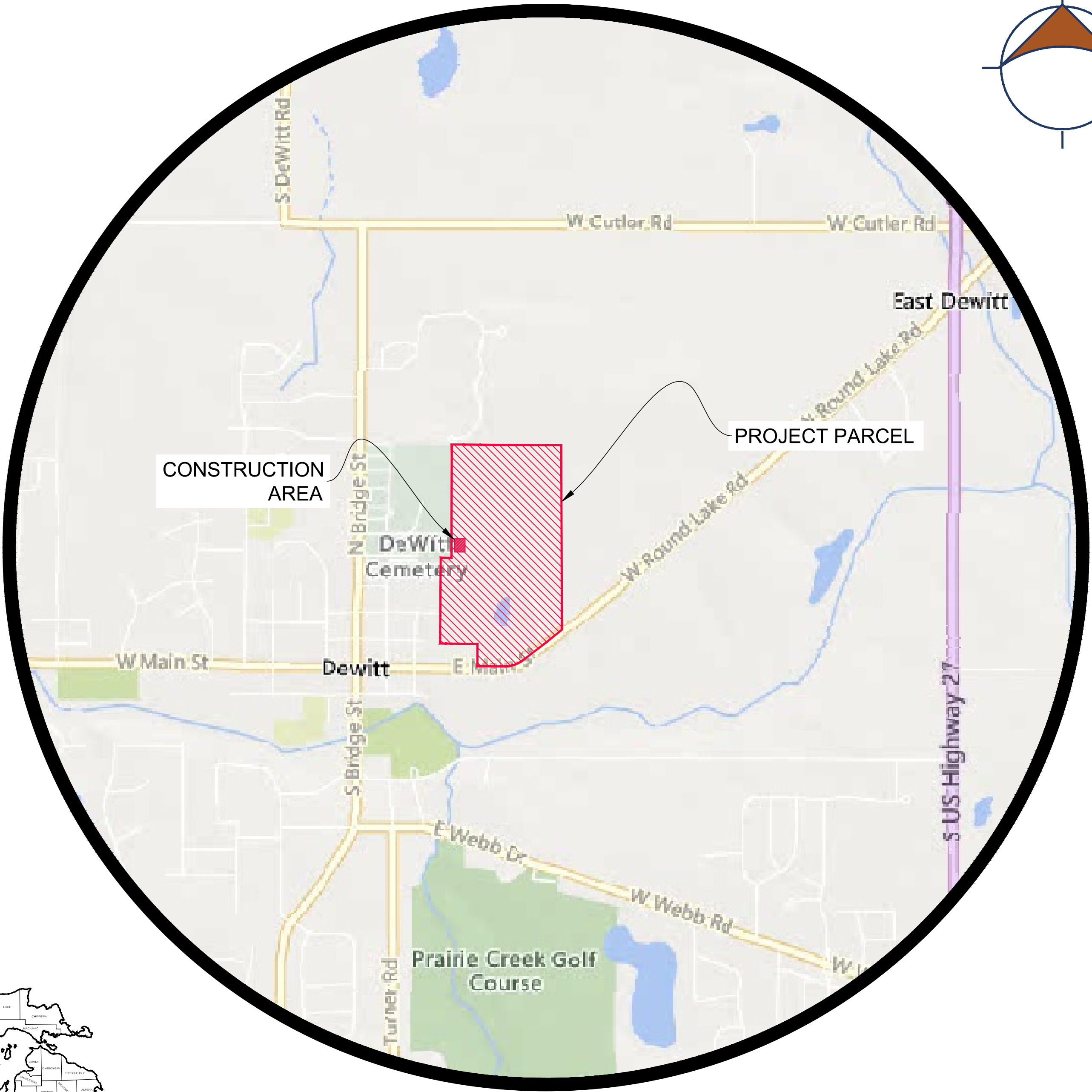
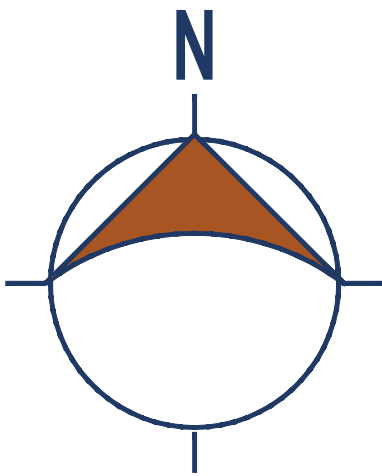
The existing single-family house is located on a 76+ acre lot for which the extra stormwater runoff produced from the 993 square feet of additional floor area will be retained on-site. The existing stormwater runoff paths, retention, and natural infiltration & passive storage of the existing portion of the single-family house and other buildings located within the lot are not to be altered and are to be maintained. There shall be no increase in volume of stormwater discharged from the site.

From the location of the addition, the stormwater will drain: to the north into a large existing open space and is over 1000 feet from the property line, to the east into existing woodland areas nearby and/or into the existing stormwater drainage and retention of the existing retreat center beyond and is over 1000 feet from the property line, to the south it will drain into the existing retention ponds of the existing senior priest residences nearby and/or the open spaces beyond and is over 1000 feet to the property line, and to the west it will drain into the existing woodland area that is between the single-family home and the property line nearby (see civil drawings for more information on the western property line, property setbacks, and immediate topography).

All disturbance to existing soils, on-site storage of soils, and grading of land shall be minimized and within the shortest period of time possible and for which soil erosion, runoff, and channel erosion on-site and to surrounding lots are to be prevented (see civil drawings for more information).

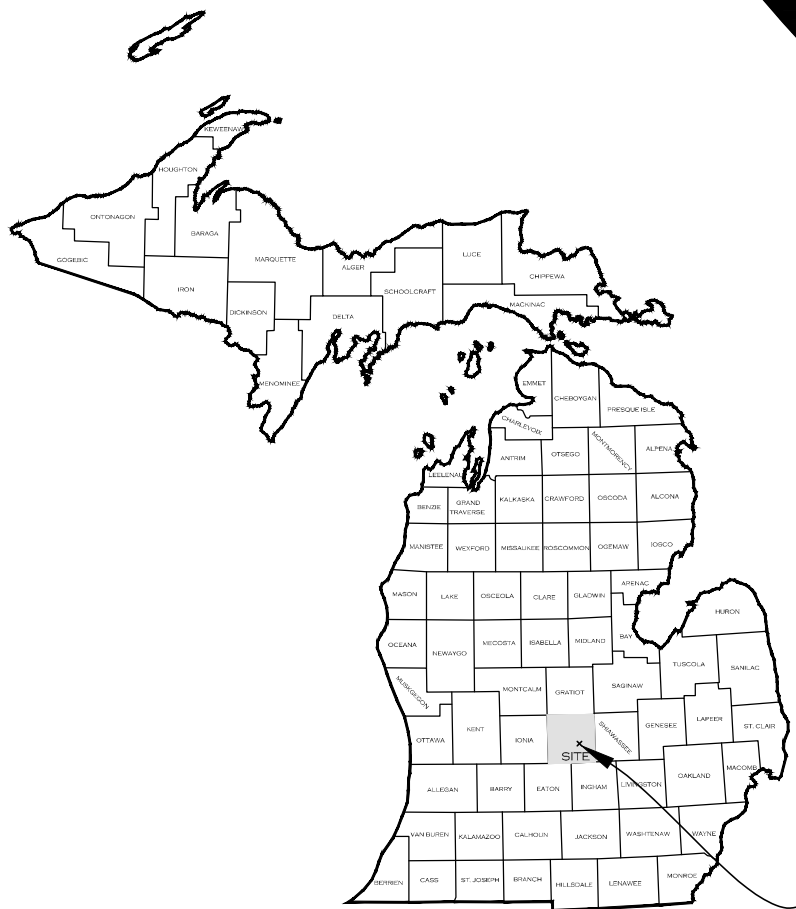
Landscape Plans:

Existing trees, shrubs, open green spaces, and landscaping on the 76+ acre lot outside of the area of work are to remain and be protected if necessary. 10 to 12 trees at the front of the driveway and by the addition will be removed for the addition, driveway reconfiguration, and necessary site work. The existing trees, shrubs, and landscaping that provide complete to nearly complete screening of the existing house and its landscaping from the neighboring lots is to be maintained. The existing lawn around the immediate and larger area of the lot of the existing single-family house is to be maintained. The future landscaping, shrubs, trees, and other live plant material, which will be on the south side of the single-family house and only visible from within the lot, is to match the landscaping of the existing senior priest residences located to the immediate south of the area of work. All existing and future landscaping of the single-family house is to have and has regular maintenance and trimming as does the rest of the lot.



LOCATION MAP

1" = 1000'



PROJECT
COUNTY

Sheet List Table

Sheet Number	Sheet Title
1	COVER
2	EXISTING CONDITIONS
2A	EXISTING CONDITIONS CONTD
3	REMOVAL PLAN
4	DIMENSION PLAN
5	GRADING PLAN
6	ARCHITECTURAL SHT 1
7	ARCHITECTURAL SHT 2
8	ARCHITECTURAL SHT 3
9	ARCHITECTURAL SHT 4
10	ARCHITECTURAL SHT 5
11	ARCHITECTURAL SHT 6

OWNER INFORMATION

DIOCESE OF LANSING
GEORGE LANDOLT
228 NORTH WALNUT STREET
LANSING, MI 48933
517.643.7869
glandolt@dioceseoflansing.org

REV.	DATE	DESCRIPTION

PREPARED UNDER SUPERVISION OF

(SEAL)

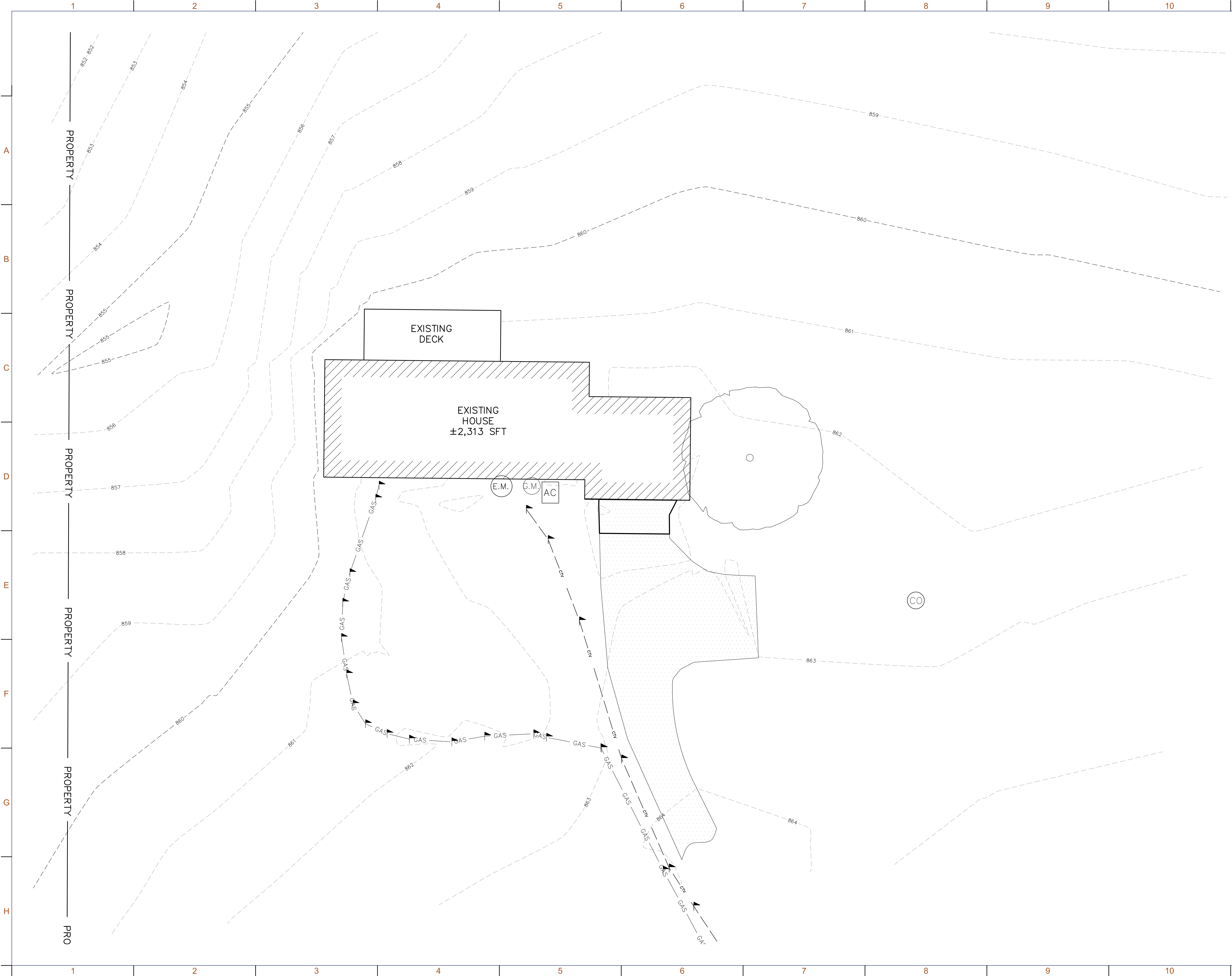


engineers | landscape architects

333 Albert Avenue, Ste. 622
East Lansing, Michigan 48823
Ph: 517.204.2178



NOT TO BE USED AS CONSTRUCTION DRAWING

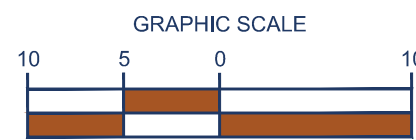
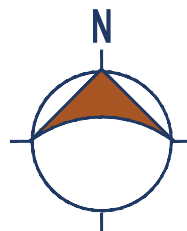


NEW BISHOP'S HOUSE
CITY OF DEWITT
CLINTON COUNTY, MICHIGAN

EXISTING CONDITIONS

PROJECT
SHEET TITLE

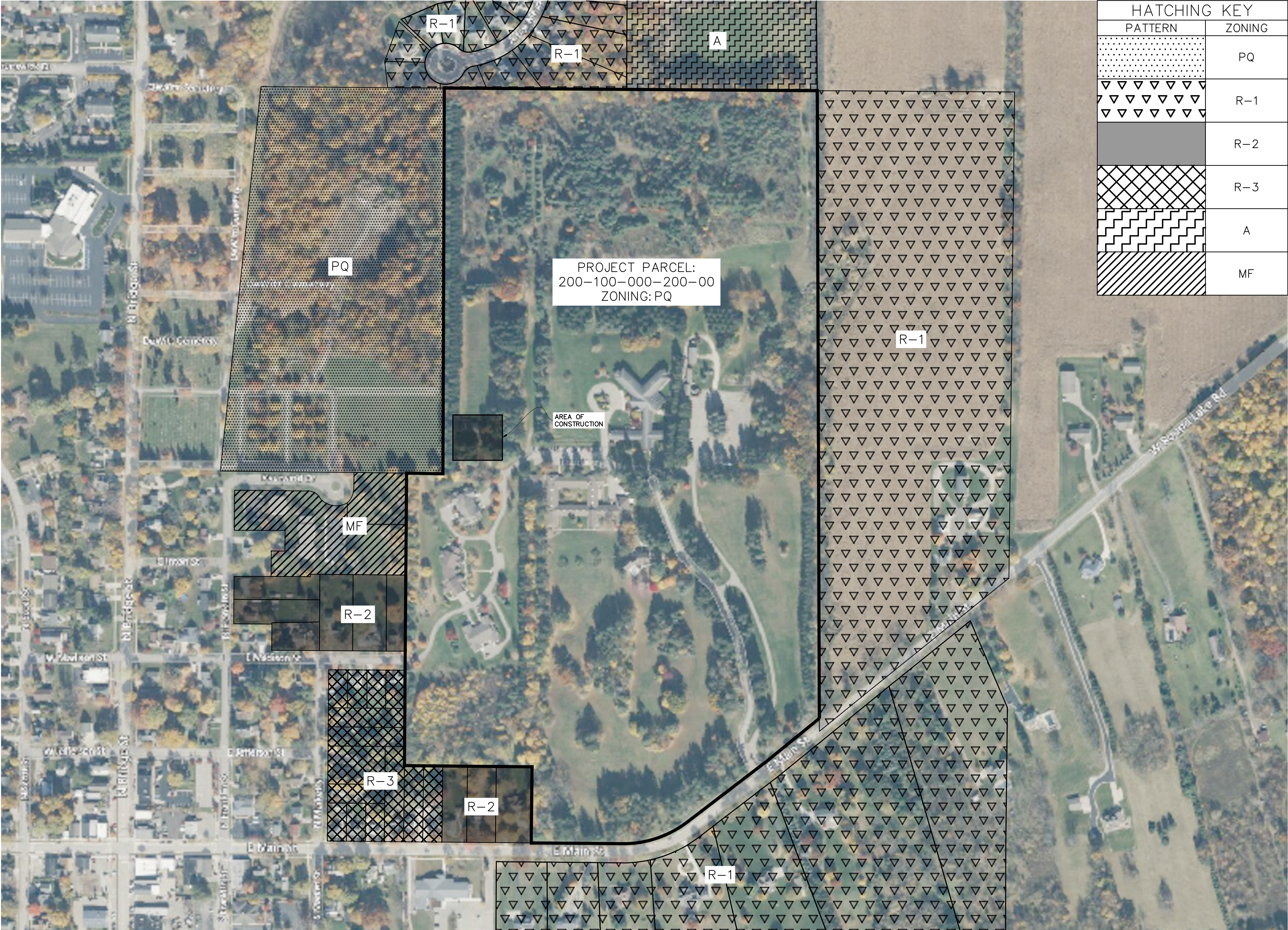
REV	DATE	DESCRIPTION



APPROVED JCW	CHECKED JCW
DRAWN JAS	DATE 2026/09/02
SCALE 1"=10'	JOB NO. JN2026-164
SHEET NO. 2	

FOR REVIEW

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HATCHING KEY	
PATTERN	ZONING
	PQ
	R-1
	R-2
	R-3
	A
	MF

PROJECT PARCEL:
200-100-000-200-00
ZONING: PQ

AREA OF
CONSTRUCTION



engineers | landscape architects
333 Albert Avenue, Ste. 622
East Lansing, Michigan 48823
Ph: 517.204.2178

NEW BISHOP'S HOUSE

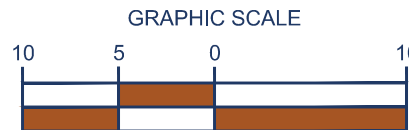
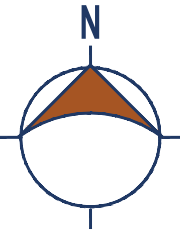
CITY OF DEWITT
CLINTON COUNTY, MICHIGAN

EXISTING CONDITIONS CONT'D

PROJECT

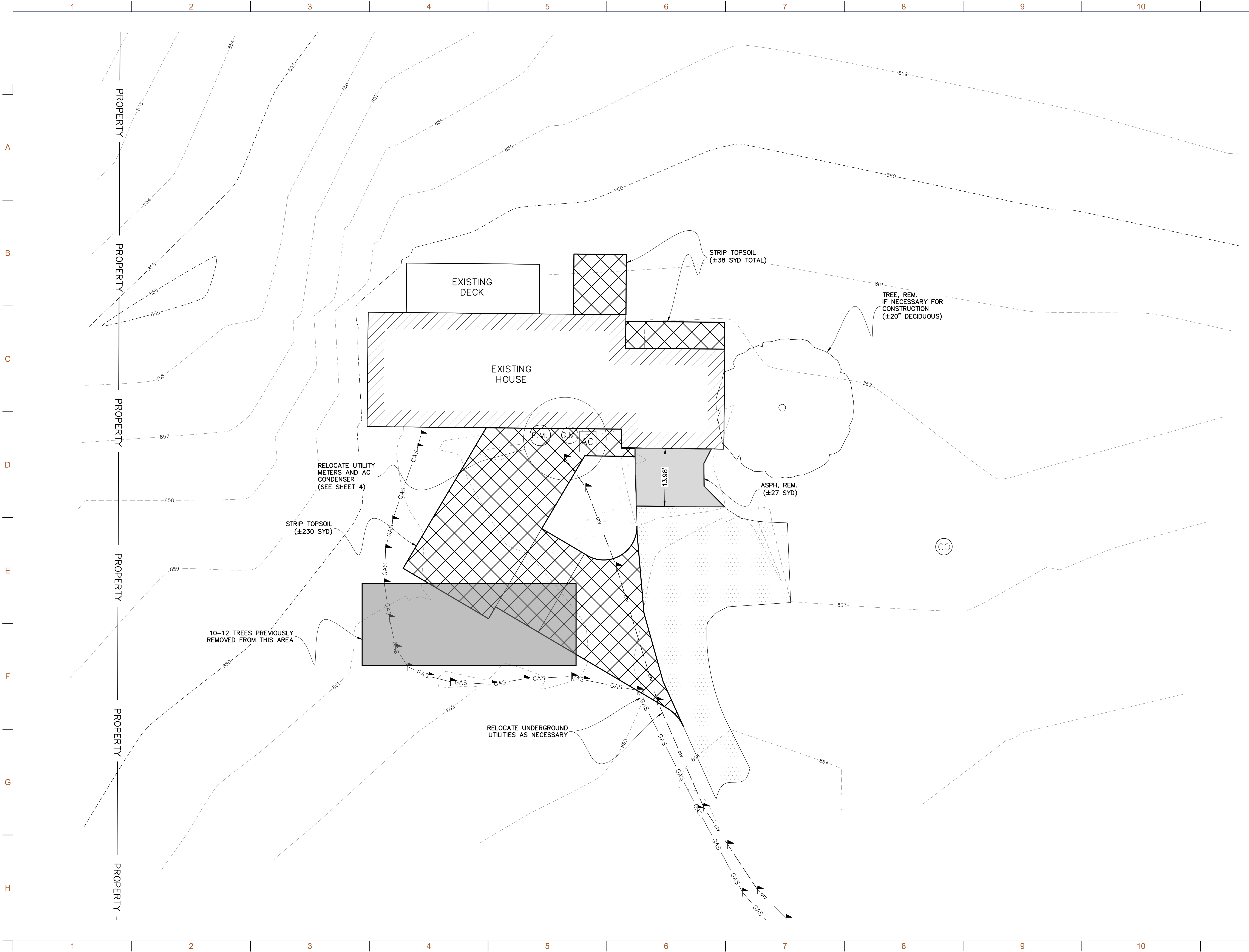
SHEET TITLE

REV	DATE	DESCRIPTION



APPROVED	CHECKED
JCW	JCW
DRAWN	DATE
JAS	2026/09/02
SCALE	1"=10'
JOB NO.	JN2026-164
SHEET NO.	2A

FOR REVIEW



PROJECT

SHEET TITLE

NEW BISHOP'S HOUSE
CITY OF DEWITT
CLINTON COUNTY, MICHIGAN

REMOVAL PLAN

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REV	DATE	DESCRIPTION

N

GRAPHIC SCALE
10 5 0 10

APPROVED
JCW

CHECKED
JCW

DRAWN
JAS

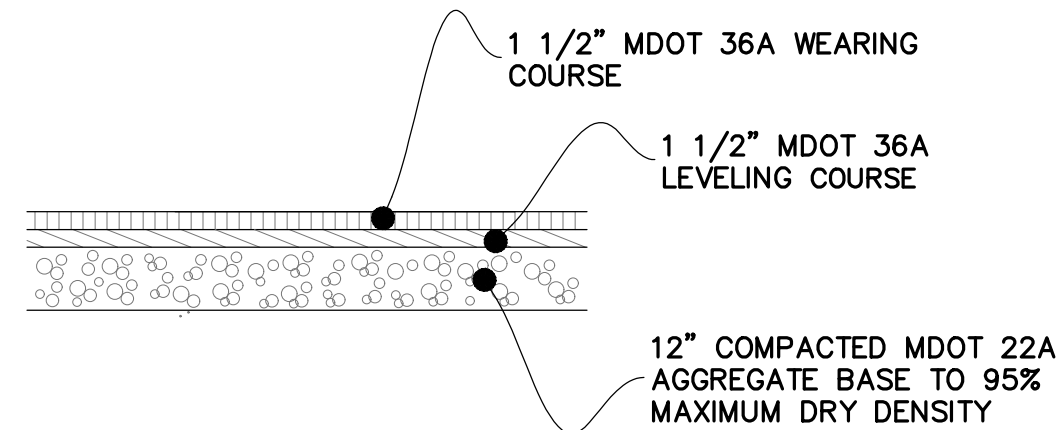
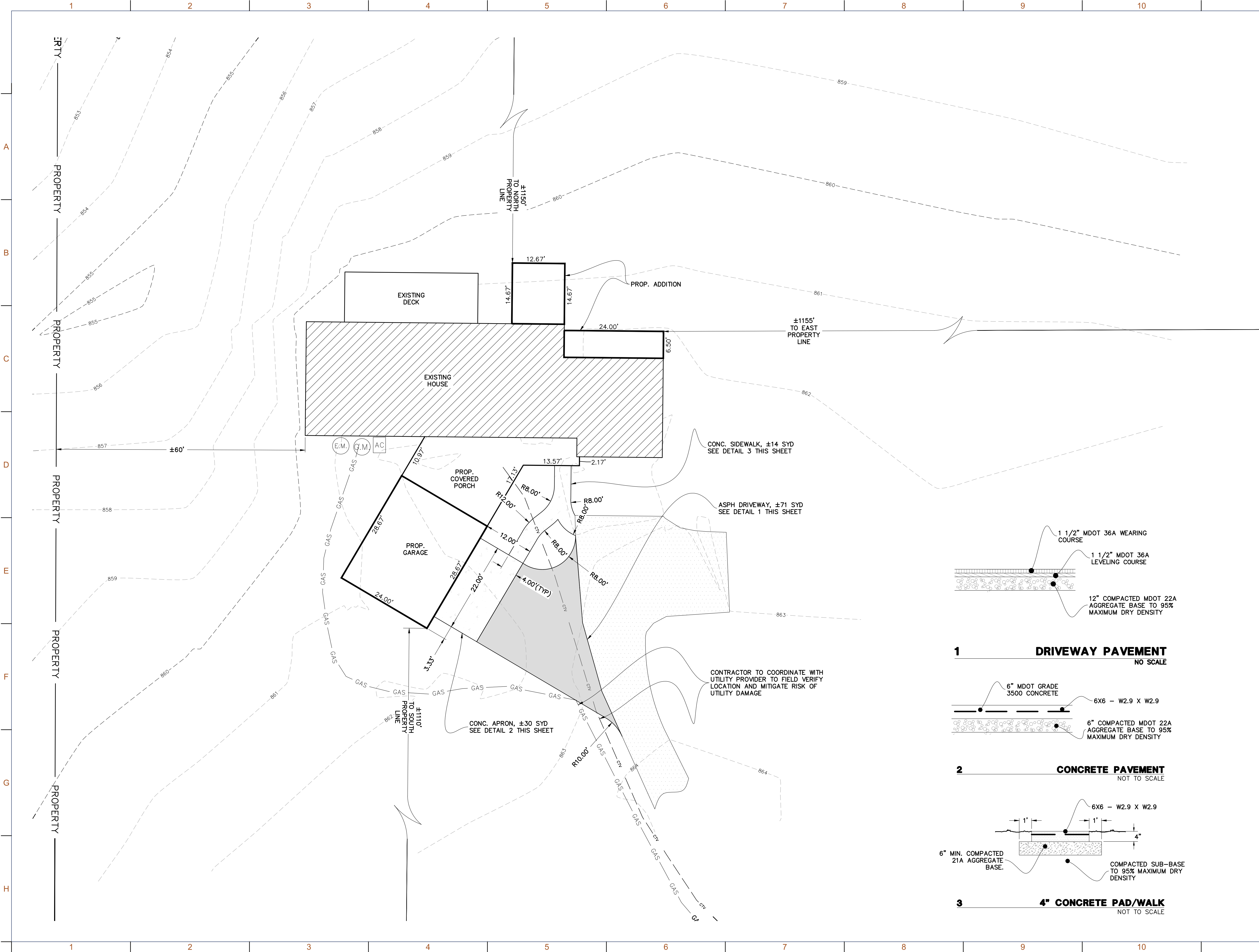
DATE
2026/09/02

SCALE
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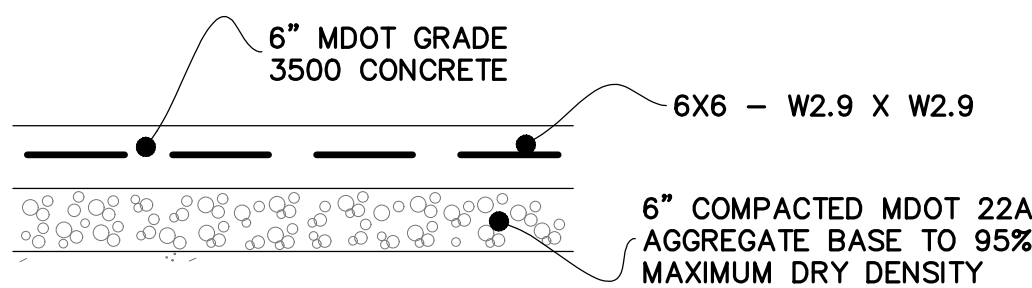
JOB NO.
JN2026-164

SHEET NO.
3

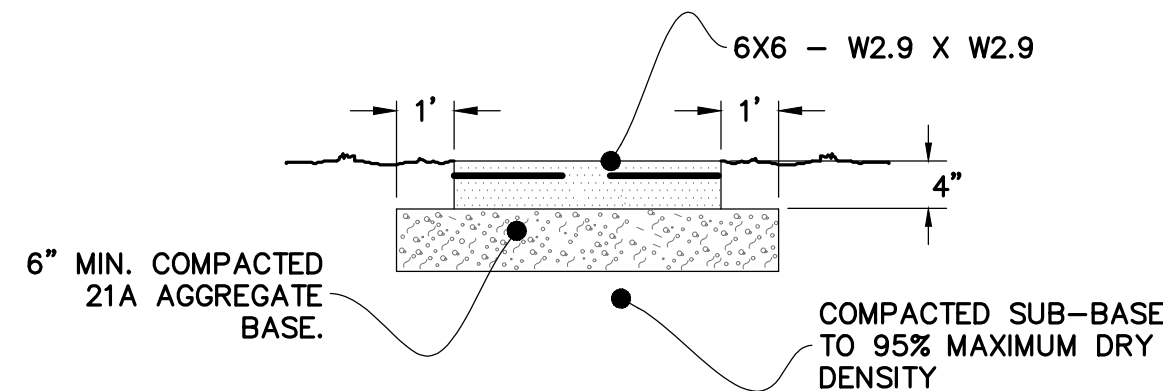
FOR REVIEW



1 DRIVEWAY PAVEMENT
NO SCALE



2 CONCRETE PAVEMENT
NOT TO SCALE

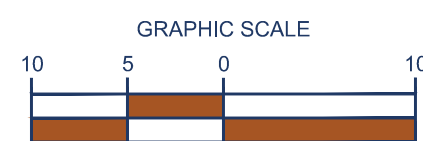
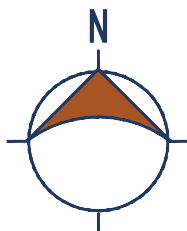


3 4" CONCRETE PAD/WALK
NOT TO SCALE

NEW BISHOP'S HOUSE
CITY OF DEWITT
INGHAM COUNTY, MICHIGAN

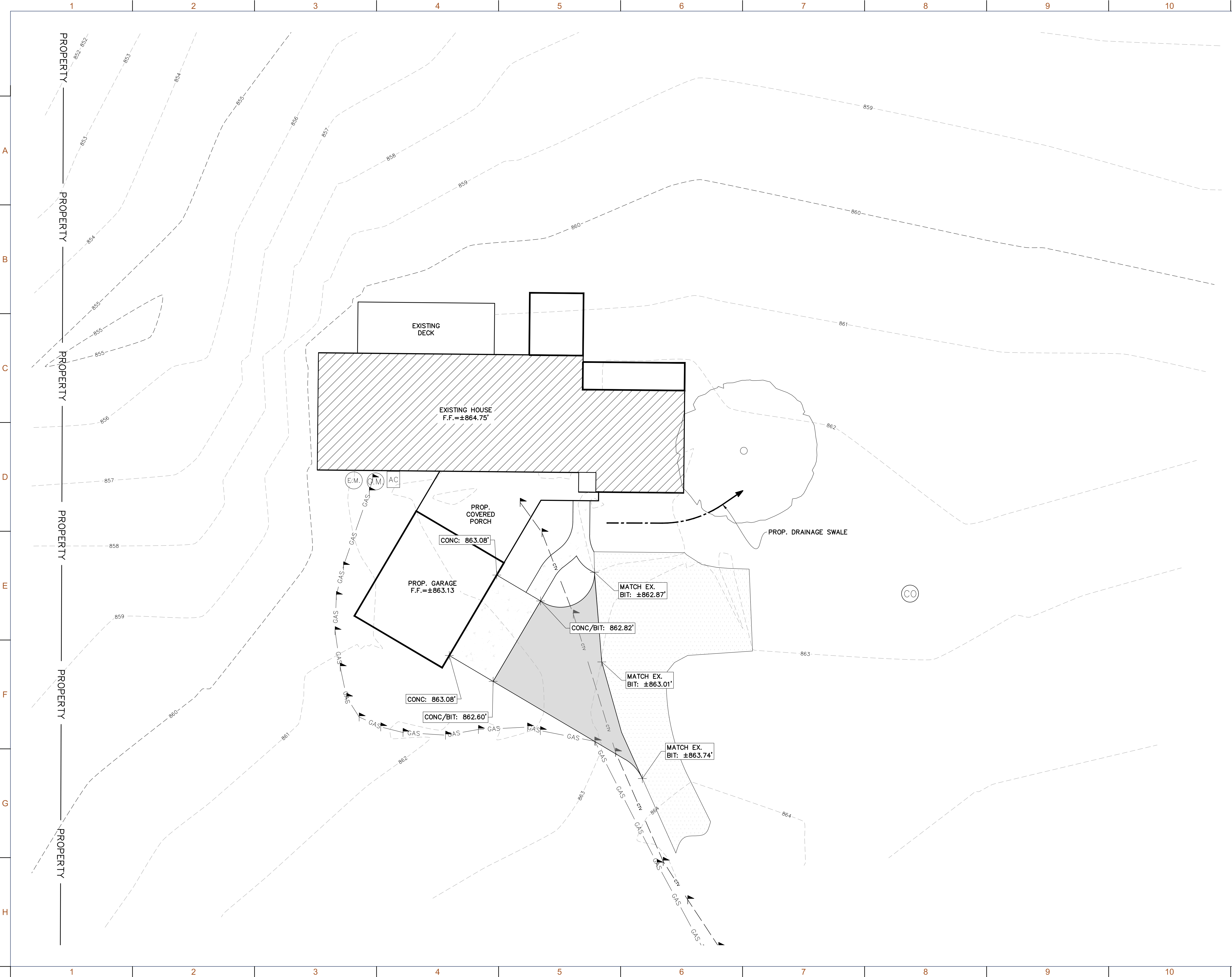
DIMENSION PLAN

REV	DATE	DESCRIPTION



APPROVED	CHECKED
JCW	JCW
DRAWN	DATE
JCW	2026/09/02
SCALE	1"=10'
JOB NO.	JN2026-164
SHEET NO.	4

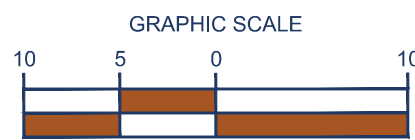
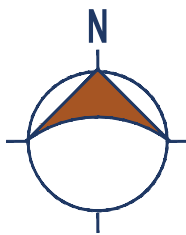
FOR REVIEW



NEW BISHOP'S HOUSE
CITY OF DEWITT
CLINTON COUNTY, MICHIGAN

GRADING PLAN

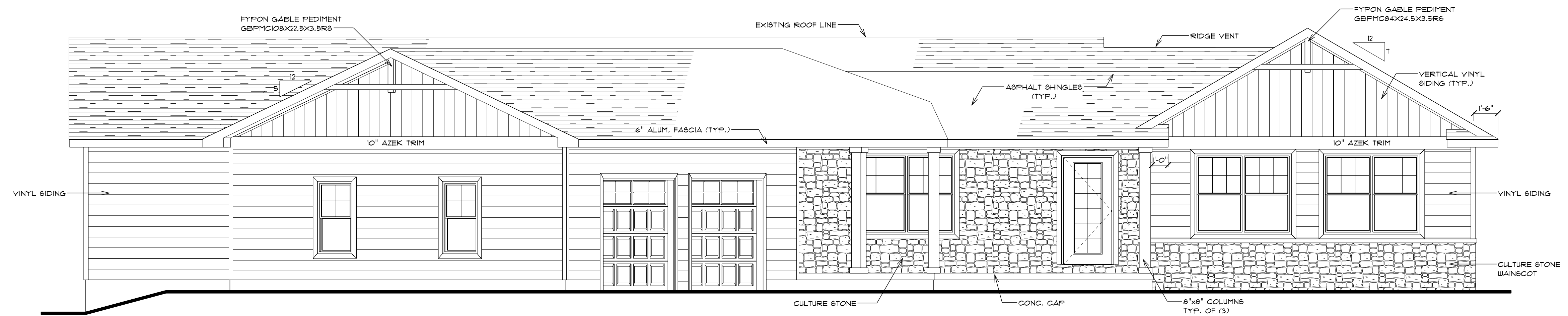
REV	DATE	DESCRIPTION



APPROVED	CHECKED
JCW	JCW
DRAWN	DATE
JAS	2026/09/02
SCALE	1"=10'
JOB NO.	JN2026-164
SHEET NO.	5

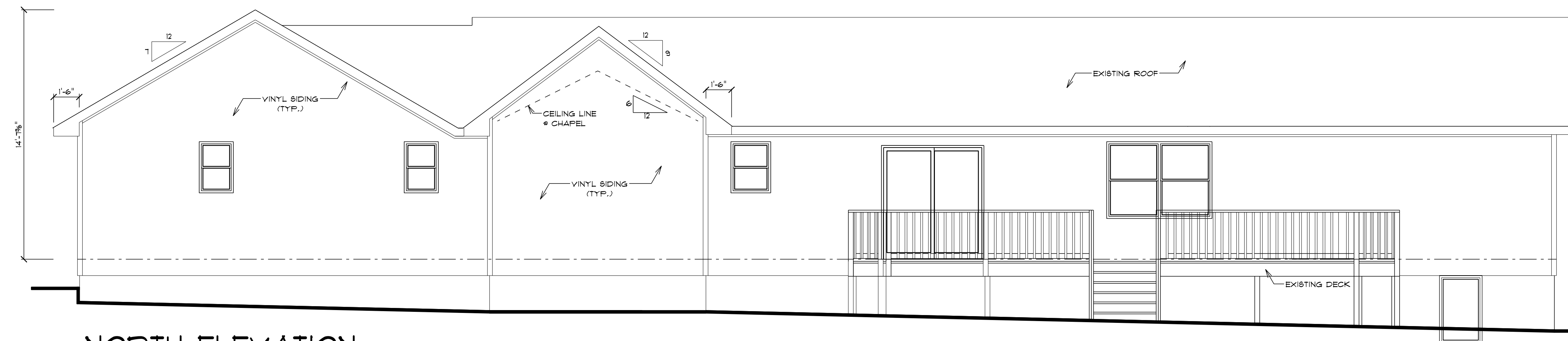
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SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

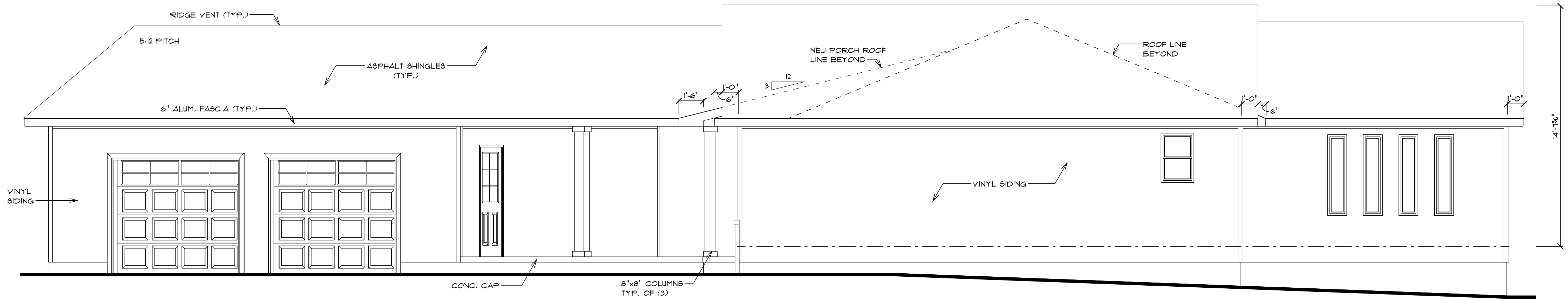
SCALE: 1/4" = 1'-0"

**Schrauben
Homes**
ARCHITECTURAL & RESIDENTIAL DESIGN

DRAWN BY:
SCHRAUBEN HOMES
16 BLISSWOOD DRIVE
ANN ARBOR, MI 48106
PHONE: (666) 647-1668
DATE: 4/27/2026

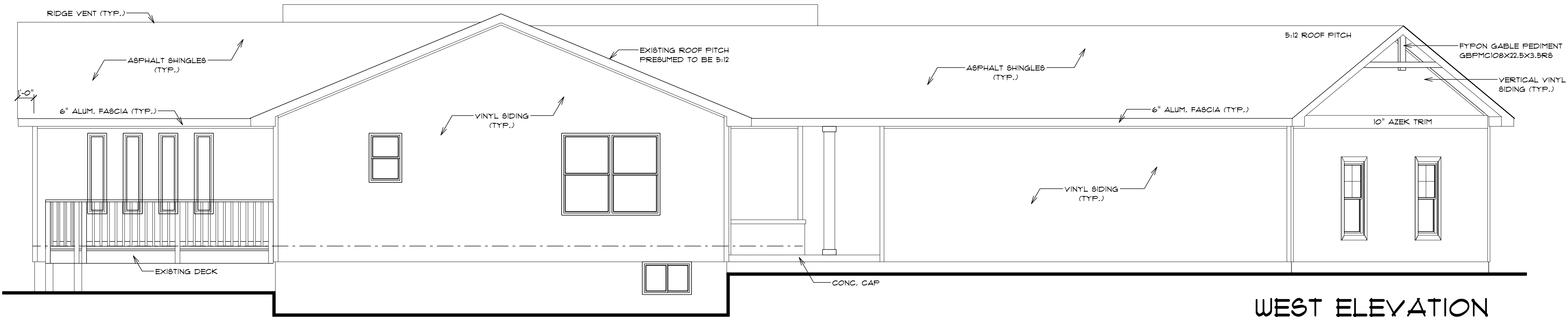
PROJECT NAME:
DIOCESE OF LANSING
405 E. MADISON
DEWITT, MI 48820

SHEET NO.
1 OF 6



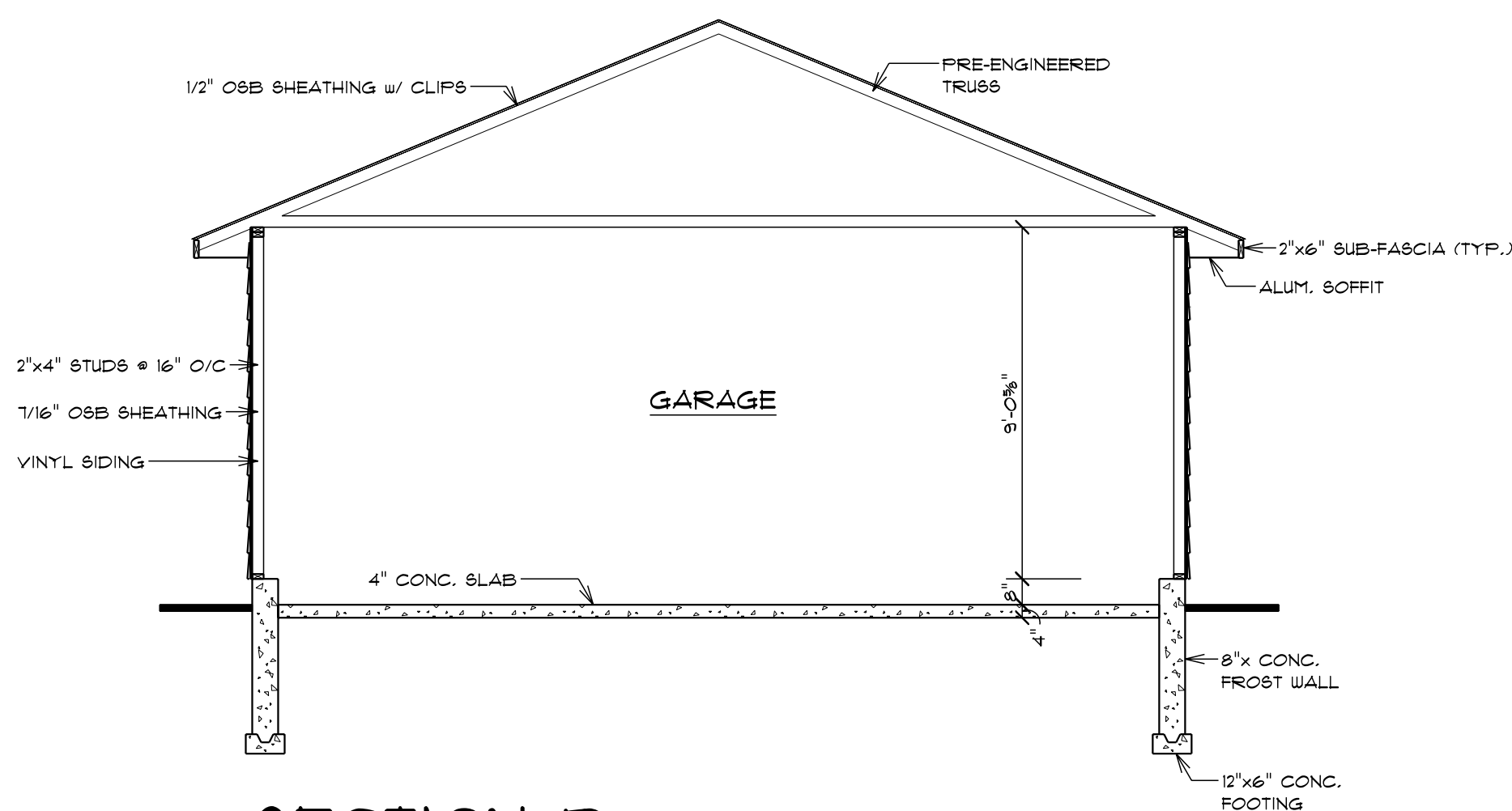
EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



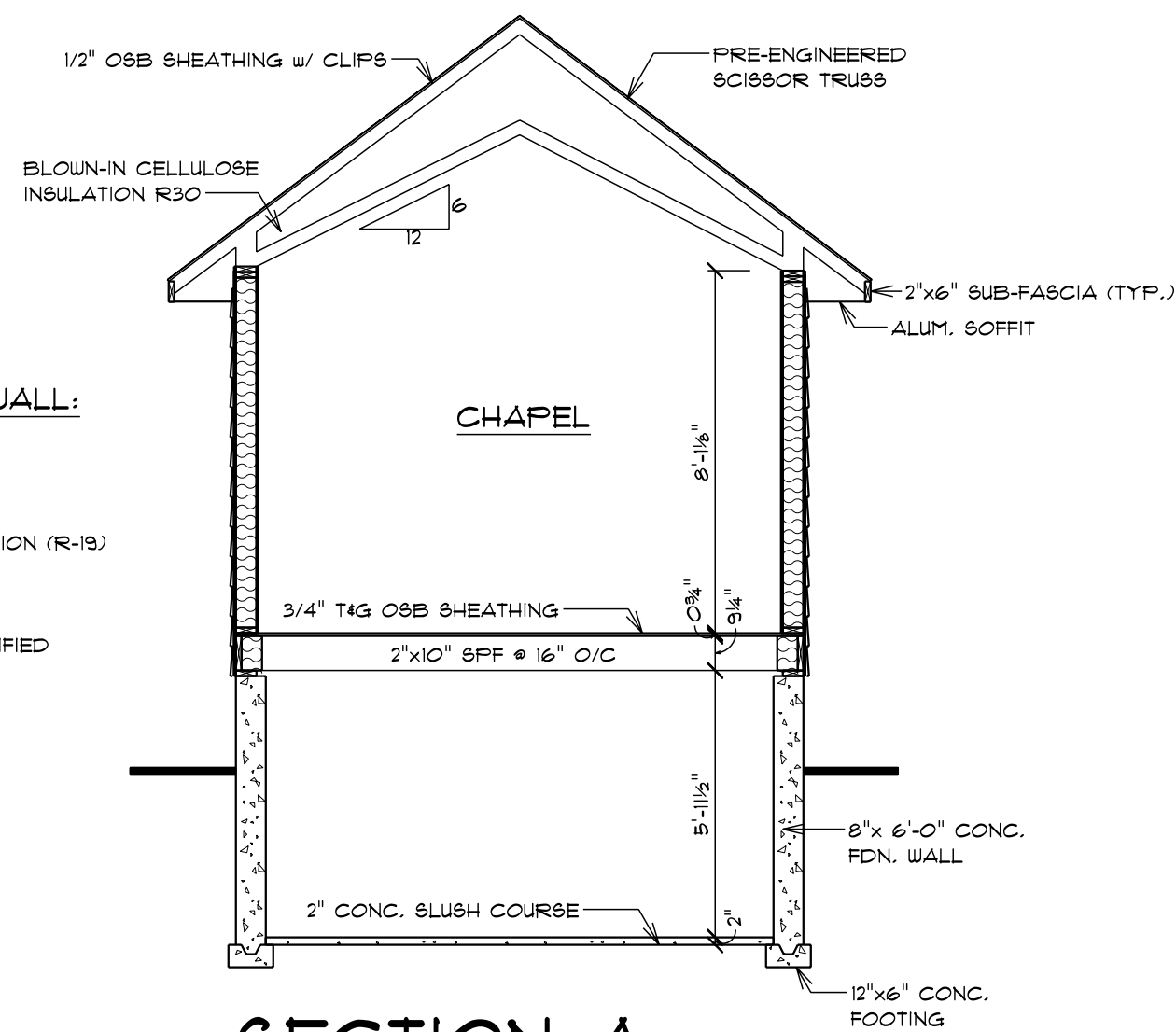
SECTION B

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR WALL:

- VINYL SIDING
- TYVEK HOUSEWRAP
- 1/16" OSB SHEATHING
- 2"x6" STUDS @ 16" O/C
- BLOWN IN CELLULOSE INSULATION (R-19)
- 6 MIL VAPOR BARRIER
- 1/2" DRYWALL

NOTE: ALL WINDOWS ARE SPECIFIED AS ALLIANCE



SECTION A

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. CONTRACTOR TO CONFIRM SOIL BEARING.
2. CONTRACTOR TO CONFIRM DIMENSIONS.
3. CONTRACTOR TO COORDINATE ALL BEARING POINTS AND FOOTINGS.
4. CONTRACTOR TO COORDINATE FOOTINGS FOR DECK AND PORCH TO BE BELOW FROST LINE.
5. FOOTING DRAINS AS REQUIRED. DRAIN TILES TO BE TIED INTO STORM DRAIN, OR DRAIN TO DAYLIGHT AWAY FROM BUILDING.
6. BACKFILL WITH CLEAN SAND (MDOT CLASS 2)
7. CONSTRUCTION MUST COMPLY WITH MICHIGAN RESIDENTIAL CODE 2018.
8. ANCHOR BOLTS OR STRAPS FOR BILL PLATES SHALL COMPLY WITH RESIDENTIAL CODE REQUIREMENTS.

FOUNDATION NOTES:

1. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL WITH AN ASSUMED SAFE BEARING CAPACITY OF 3000 P.S.F.
2. ALL CINDERS, ORGANIC MATERIAL, ETC. TO BE REMOVED BELOW SLAB AND FOOTINGS.
3. FOOTINGS SHALL NOT BE PLACED ON PREVIOUSLY DISTURBED SOILS SUCH AS UTILITY LOCATION TRENCHES, OR LOOSE FILL FILLED DURING PRIOR GRADING OPERATIONS. ALL SUCH AREAS SHALL BE PROOVED COMPACTED AND BROUGHT TO ADEQUATE BEARING CAPACITY.
4. ALL CONCRETE WORK SHALL BE NORMAL WEIGHT, ASTM C33 AGGREGATE, TYPE I PORTLAND CEMENT, 4" SLUMP WITH 1 DAY CYLINDER STRENGTHS AS FOLLOWS:

FOOTINGS AND FOUNDATION WALLS	3,000 PSI
INTERIOR FLATWORK	3,500 PSI
EXTERIOR FLATWORK (AIR ENTRAINED)	4,000 PSI

FRAMING NOTES:

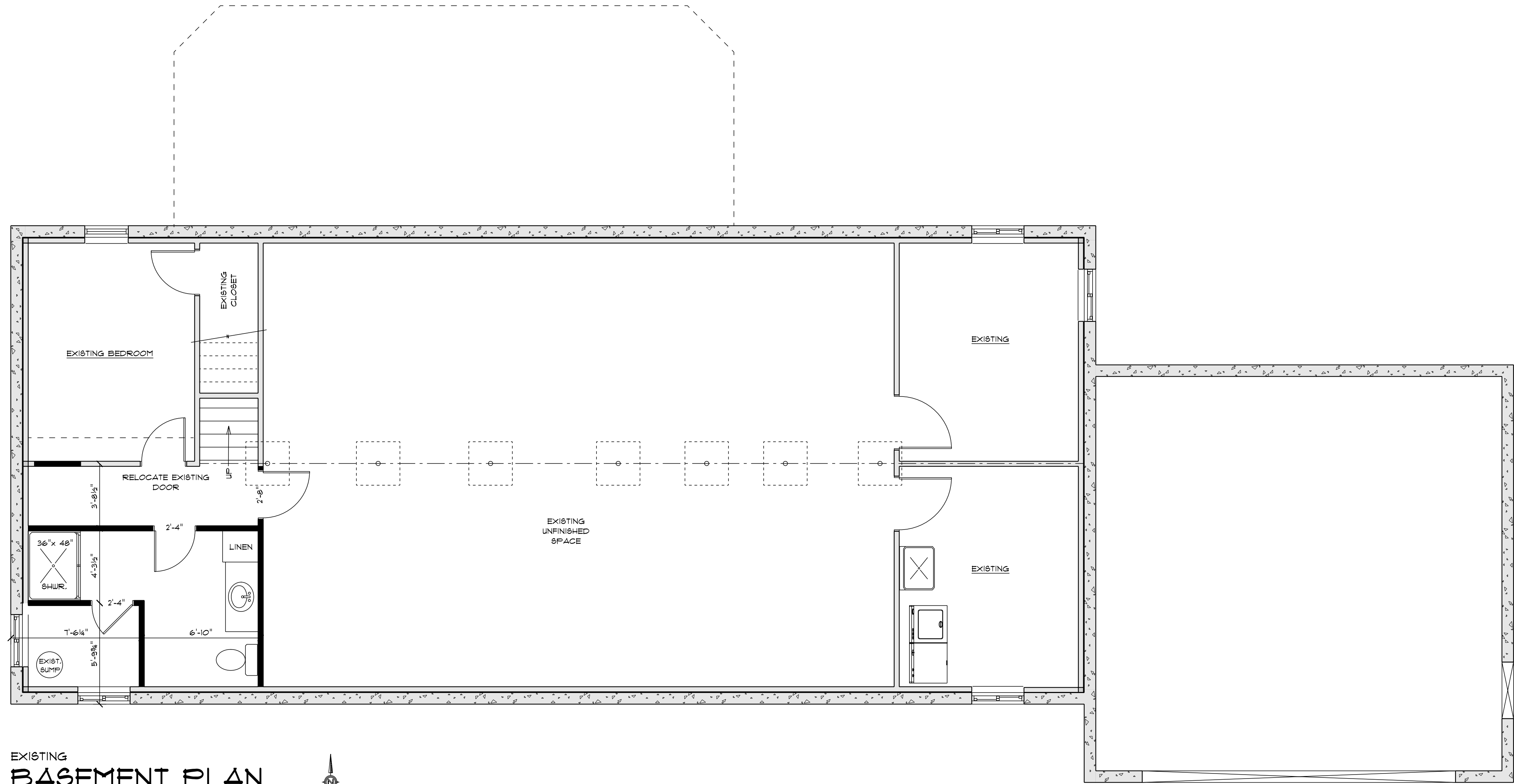
1. WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) STANDARDS AND SPECIFICATIONS, AND NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY NATIONAL FOREST PRODUCTS ASSOCIATION.
2. ROOF TRUSS SHOP DRAWINGS SHALL BE PREPARED UNDER THE DIRECT SUPERVISION OF AN ENGINEER LICENSED IN THE STATE OF MICHIGAN. SUBMISSIONS SHALL BE SIGNED AND SEALED BY THE ENGINEER OF RECORD. ROOF/FLOOR TRUSS/JOIST DESIGN SHALL INCLUDE DESIGN AND DETAILING OF ALL REQUIRED BRIDGING, BRACING AND SUPPLEMENTAL MATERIAL TO PROVIDE A COMPLETE SYSTEM FOR THE LOADS AND PERFORMANCE REQUIREMENTS LISTED.
3. TRUSS FRAMING AND TRUSS TO TRUSS CONNECTIONS ARE TO BE DESIGNED BY TRUSS MANUFACTURER.

SITE PLAN NOTES:

1. ALL EXTERIOR LIGHTING WILL BE OFF OF THE EXISTING AND NEW STRUCTURES BY GARAGE, FRONT DOOR, PORCH, AND DECK. THERE IS NOT TO BE ANY DRIVEWAY/ EXTERIOR LIGHTING FOR PARKING SPOTS.
2. THERE WILL NOT BE ANY SITE OR WALL SIGNS.
3. THERE WILL NOT BE ANY WALLS OR FENCES CONSTRUCTED TO VISIBLY OBTAIN THE NEW AND EXISTING HOUSE.

SCALE: 3/16" = 1'-0"

KEY:
 EXISTING WALL
 PROPOSED WALL



EXISTING
BASEMENT PLAN
SCALE: 1/4" = 1'-0"

KEY:

EXISTING WALL
PROPOSED WALL

SHEET NO.
6 OF 6

Staff Report Planning Commission

Agenda Item: NB #2
Meeting Date: September 17, 2026

TO: Planning Commission Members

FROM: Dan Coss, City Administrator

DATE: September 11, 2026

RE: Final Plat Wildflower Meadows Number 4

FACTS: The City has received a request from Mayberry Homes for final plat approval for Wildflower Meadows Number 4.

The purpose of final plat approval is to determine if the layout of the final plat is consistent with the preliminary plat and to confirm that the conditions established as part of the preliminary plat approval have been fulfilled. Chapter 38 of the City Code establishes the parameters for final plat approval and states that the application must be received 15 days prior to the Planning Commission meeting (submitted August 20, 2026) to act on the request for final approval.

The City Council approved the final preliminary plat for SBI Limited Partnership on December 14, 2004 regular meeting and authorized an approval extension of the Final Preliminary Plat at their April 28, 2017 regular meeting.

The Final Plat as submitted for Wildflower Meadows Number 4 is unchanged from the original approval granted by DeWitt City Council in 2004 and as extended in 2017.

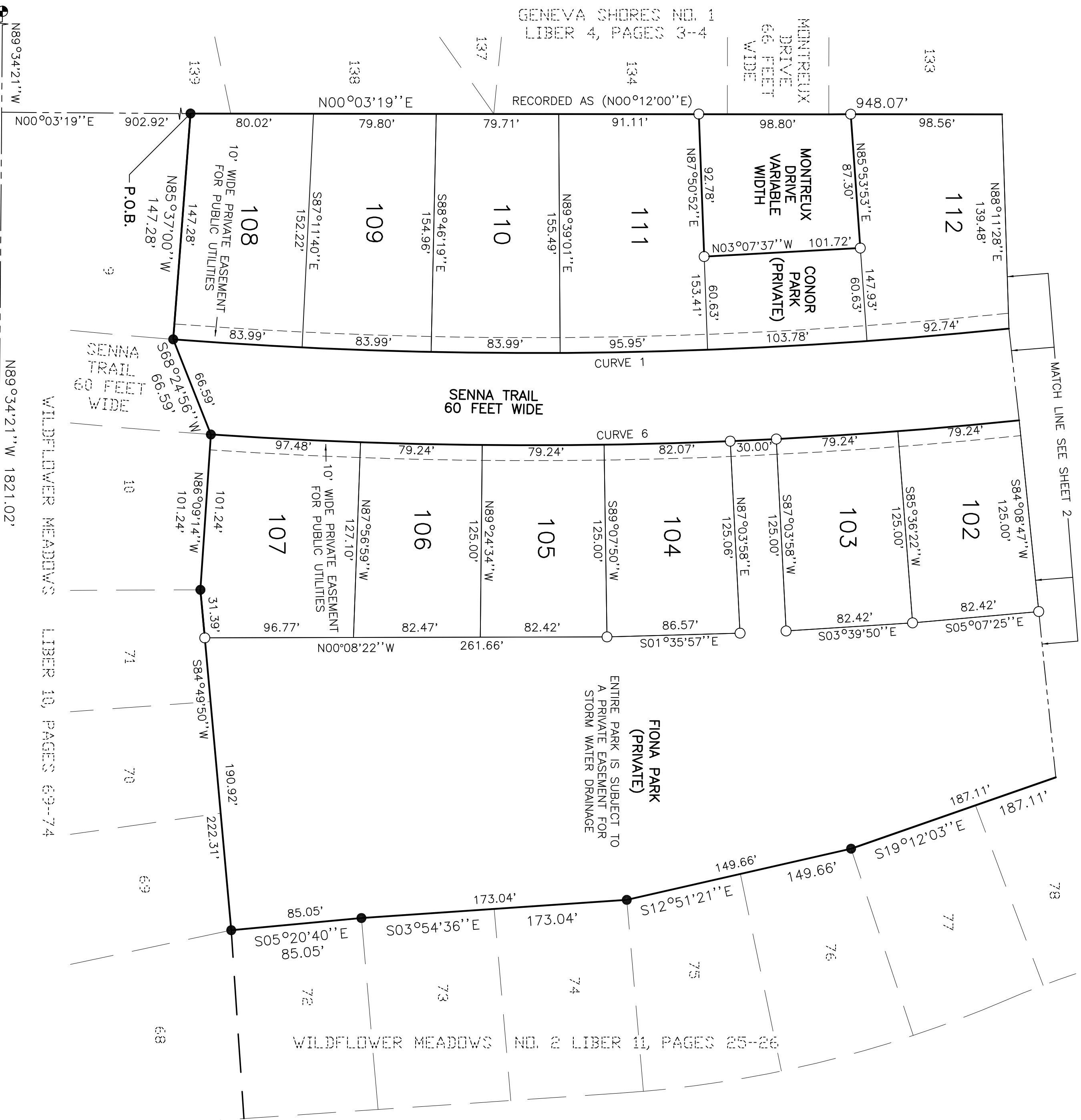
All entities, Drain Commissioner, City Assessor, etc... have reviewed and approved the Final Plat for Phase 4.

There is one remaining phase for Wildflower Meadows, containing approximately 25 lots at the north end of the development. That phase will also include an extension and connection of Snapdragon Lane to Pine Street.

Recommended Action: Recommend approval to the DeWitt City Council of the Final Plat for Wildflower Meadows Number 4.

WILDFLOWER MEADOWS NO. 4

A SUBDIVISION OF PART OF THE SW 1/4 OF SECTION 8, T5N R2W
CITY OF DEWITT, CLINTON COUNTY, MICHIGAN



CURVE TABLE					
CURVE	LENGTH	DELTA	RADIUS	CHORD BEARING	CHORD LENGTH
1	638.21'	11°59.20"	3050.00'	N01°36.40"W	637.03'
6	621.60'	11°27.06"	3110.00'	S01°52.47"E	620.56'

SURVEYOR CERTIFICATION OF TRUE COPY

I, Ronald L Enger, surveyor, certify:
That pursuant to section 560.101 to 560.293, this is
a true copy of the final plat of:

Wildflower Meadows No. 4, a part of the Southwest 1/4 of Section 8, T5N R2W, City of Dewitt, Clinton County, Michigan;

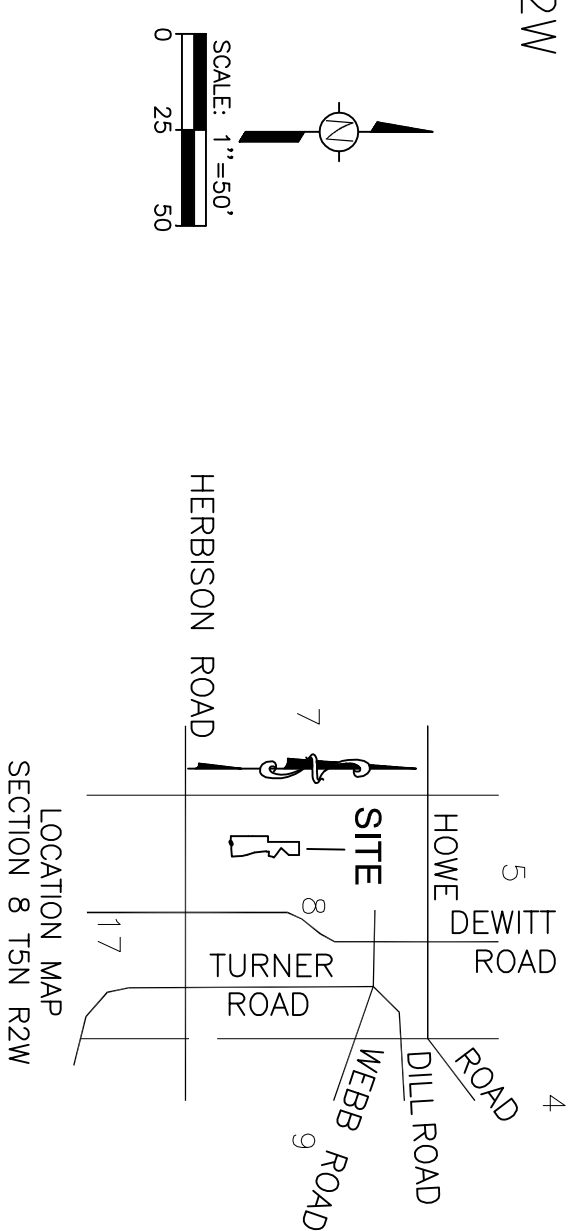
and, that the final plat is subject to the approval of each of the following agencies (whose approval is required under section 560.101 to 560.293):

Phillip Hanses, Clinton County Drain Commissioner
Alyssa Ramirez, Clerk, City Council, City of Dewitt
Bruce DeLong, Stephanie L. Dush and Steven
Wiswasser, Clinton County Plat Board

DATE: _____ Signature: _____

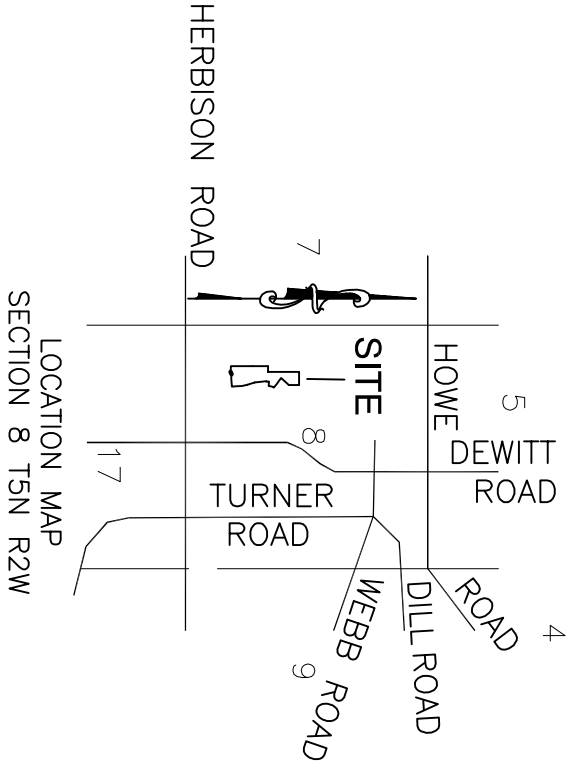
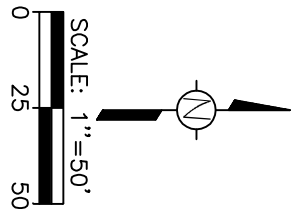
Printed name: Ronald L. Enger
License No 28409

- LEGEND
1. ALL DIMENSIONS ARE IN FEET.
 2. ALL CURVE DIMENSIONS ARE ARC LENGTHS.
 3. (R) INDICATES RADIAL LOT LINE. LINES NOT MARKED ARE NON-RADIAL.
 4. "4" DIAMETER CONCRETE MONUMENTS 36" IN LENGTH WITH 1/2" DIAMETER STEEL BARS HAVE BEEN PLACED AT ALL POINTS MARKED "O".
 5. FOUND MONUMENTS ARE MARKED "●", AND ARE 4" DIAMETER CONCRETE ENCASING A 1/2" DIAMETER STEEL BAR.
 6. LOT CORNERS HAVE BEEN MARKED WITH 5/8" DIAMETER STEEL REBAR, 24" LONG WITH PLASTIC CAP IMPRINTED "RON ENGER PS 28409".
 7. BEARINGS WERE ESTABLISHED FROM THE RECORDED PLAT OF WILDFLOWER MEADOWS RECORDED IN LIBER 10 OF PLATS, PAGE 69-74, CLINTON COUNTY RECORDS.



WILDFLOWER MEADOWS NO. 4

A SUBDIVISION OF PART OF THE SW 1/4 OF SECTION 8, T5N R2W
CITY OF DEWITT, CLINTON COUNTY, MICHIGAN



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4	220.47'	46°02'09"	274.40'	S15°58'34" W	214.59'
5	395.33'	89°59'36"	251.69'	S37°23'28" W	355.93'
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required under section 560.101 to 560.293):

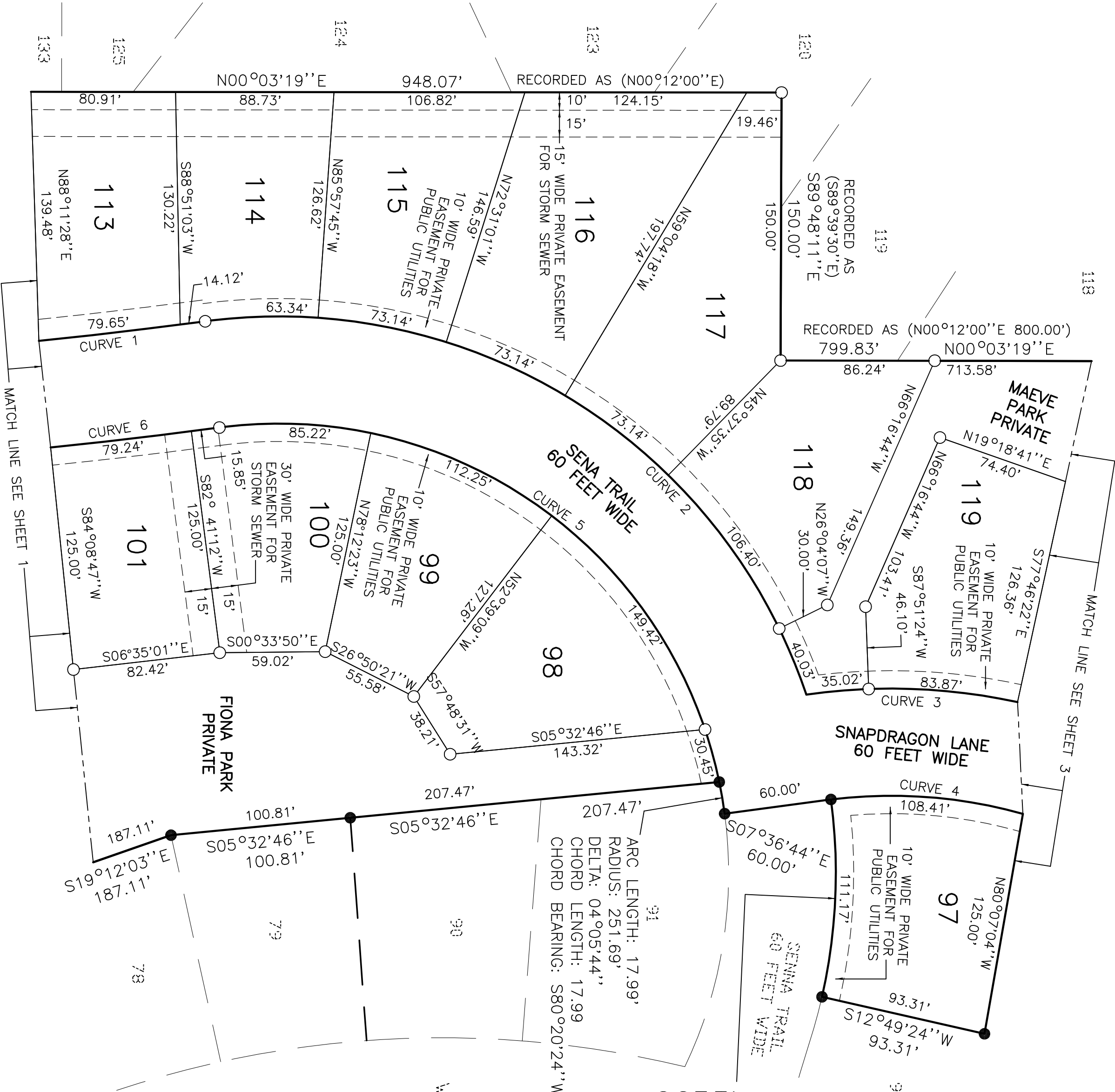
Phillip Hameses, Clinton County Drain Commissioner
Alyssa Ramirez, Clerk, City Council, City of Dewitt
Bruce DeLong, Stephanie L. Dush and Steven
Wiswasser, Clinton County Plat Board

DATE: Signature:

Printed name: Ronald L. Enger
License No 28409

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- OF WILDFLOWER MEADOWS RECORDED IN
- LIBER 10 OF PLATS, PAGE 69-74, CLINTON COUNTY RECORDS.



GENEVA CHORES NO. 1
LIBER 4, PAGES 3-4

WILDFLOWER MEADOWS NO. 2
LIBER 11, PAGES 25-26

WILDFLOWER MEADOWS NO. 4

A SUBDIVISION OF PART OF THE SW 1/4 OF SECTION 8, T5N R2W
CITY OF DEWITT, CLINTON COUNTY, MICHIGAN

CHATEAU SHORES NO. 1
LIBER 6, PAGES 12-13

RECORDED AS (S89°11'59"E)
S89°46'59"E

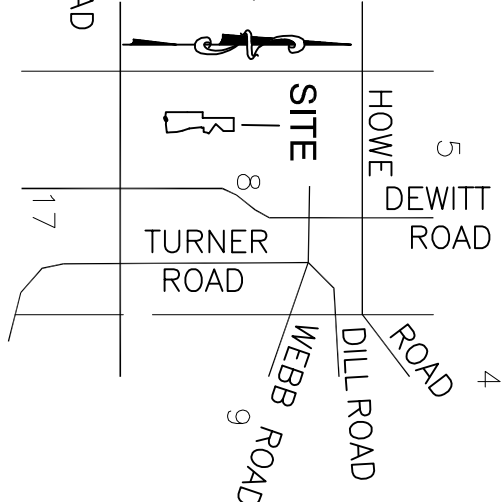
337.94'

EAST-WEST 1/4 LINE SECTION 8

CENTER OF SECTION 8
T5N R2W
LIBER , PAGE XX

HERBISON ROAD

LOCATION MAP
SECTION 8 T5N R2W



WEST 1/4 CORNER
SECTION 8
T5N R2W
LIBER XX, PAGE XX

113

113

LOT 77

S00°17'22" W
263.76'
RECORDED AS (S00°08'31" W)

MAEVE PARK

ENTIRE PARK IS SUBJECT TO
A PRIVATE EASEMENT FOR
STORM WATER DRAINAGE

CURVE TABLE

CURVE	LENGTH	DELTA	RADIUS	CHORD BEARING	CHORD LENGTH
3	266.01'	45°34'41"	334.40'	N14°38'46"E	259.06'
4	220.47'	46°02'09"	274.40'	S15°58'34"W	214.59'

ASSESSORS PLAT - SOUTH
LIBER 8, PAGES 16-23

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Alyssa Ramirez, Clerk, City Council, City of Dewitt
Bruce DeLong, Stephanie L. Dush and Steven Wiswasser, Clinton
County Plat Board

DATE: Signature:

Printed name: Ronald L. Enger
License No 28409

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GENEVA SHORES NO. 1
LIBER 4, PAGES 3-4

RECORDED AS
(N00°12'00" E, 800.00')

115

N00°03'19" E

114

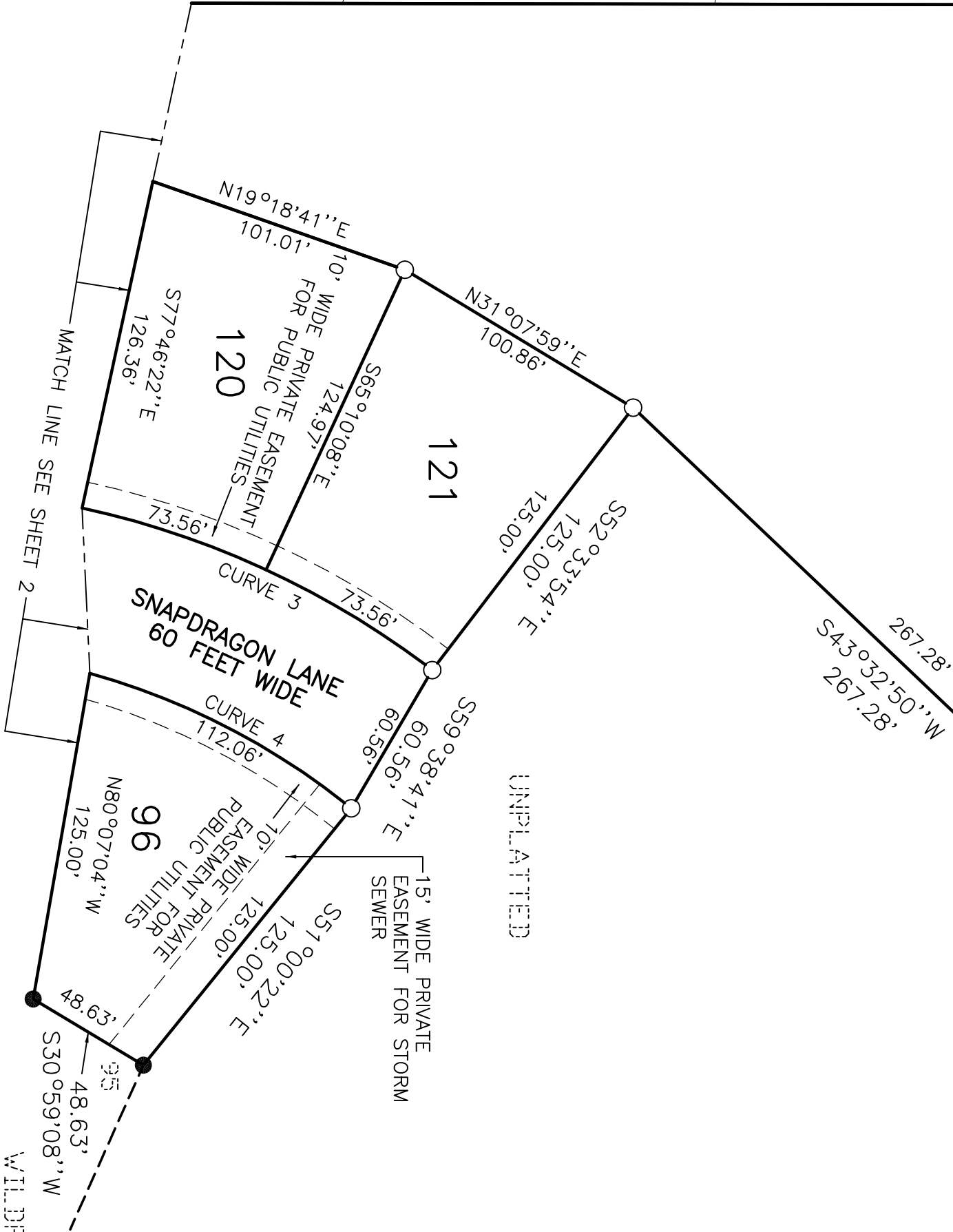
799.83'

116

713.58'

117

118

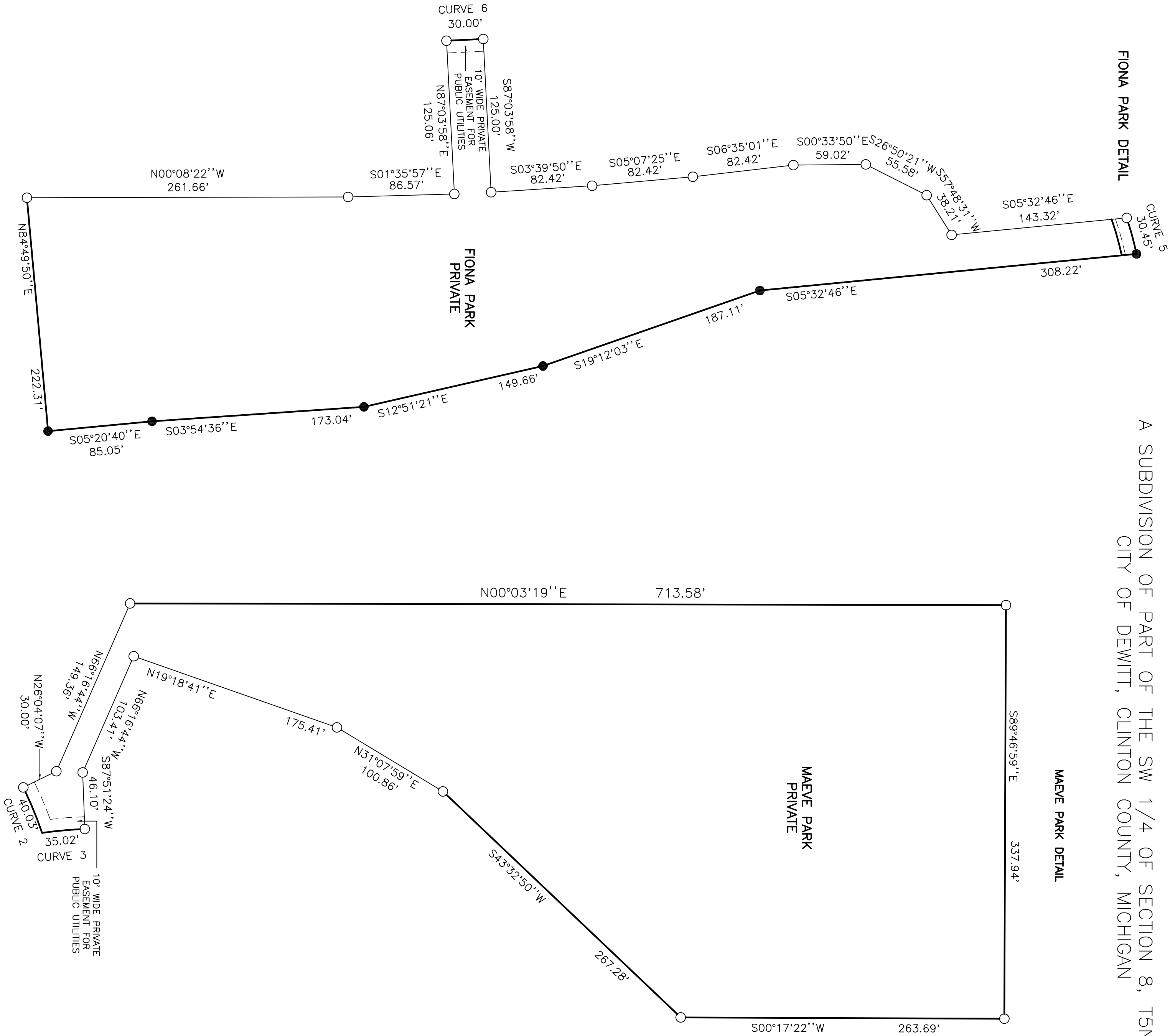


WILDFLOWER MEADOWS NO. 3
LIBER 11, PAGES 41-42

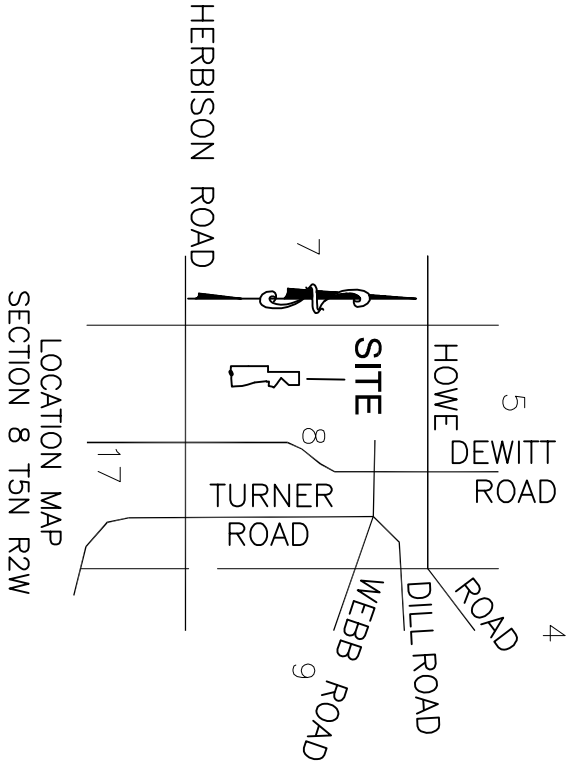
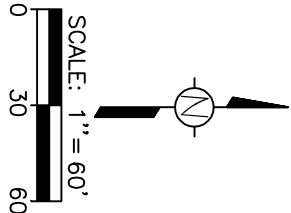
SHEET 3 OF 6

WILDFLOWER MEADOWS NO. 4

A SUBDIVISION OF PART OF THE SW 1/4 OF SECTION 8, T5N R2W
CITY OF DEWITT, CLINTON COUNTY, MICHIGAN



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Alyssa Ramirez, Clerk, City Council, City of Dewitt
Bruce DeLong, Stephanie L. Dush and Steven
Wiswasser, Clinton County Plat Board

DATE:

Signature:

Printed name: Ronald L. Enger
License No 28409

LEGEND

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WILDFLOWER MEADOWS NO. 4

A SUBDIVISION OF PART OF THE SW 1/4 OF SECTION 8, T5N R2W
CITY OF DEWITT, CLINTON COUNTY, MICHIGAN

SURVEYOR'S CERTIFICATE

I, RONALD L. ENGER, SURVEYOR, CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE LAND SHOWN ON THIS PLAT, DESCRIBED AS FOLLOWS:

WILDFLOWER MEADOWS NO. 4, A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 8, T5N R2W, CITY OF DEWITT, CLINTON COUNTY, MICHIGAN, BEING DESCRIBED AS COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 8, THENCE N89°34'21"W ALONG THE SOUTH LINE OF SAID SECTION 1821.02 FEET TO THE SOUTHEAST CORNER OF GENEVA SHORES NO. 1, A SUBDIVISION RECORDED IN LIBER 4 OF PLATS PAGES 3 AND 4 WHICH IS ALSO THE SOUTHWEST CORNER OF WILDFLOWER MEADOWS, A SUBDIVISION RECORDED IN LIBER 10 OF PLATS PAGES 69 – 74, CLINTON COUNTY RECORDS; THENCE N00°03'19"E, ALONG THE EAST LINE OF SAID GENEVA SHORES NO. 1 AND THE WEST LINE OF SAID WILDFLOWER MEADOWS, 902.92 FEET TO THE NORTHWEST CORNER OF LOT 9 OF SAID WILDFLOWER MEADOWS AND THE POINT OF BEGINNING; THENCE ALONG THE BOUNDARY OF SAID GENEVA SHORES NO. 1 THE FOLLOWING THREE (3) COURSES: N00°03'19"E, 948.07 FEET; S89°48'11"E, 150.00 FEET AND N00°03'19"E, 799.83 FEET TO THE EAST–WEST 1/4 LINE OF SAID SECTION; THENCE S89°46'59"E, ALONG THE EAST–WEST 1/4 OF SAID SECTION AND THE SOUTH LINE OF CHATEAU SHORES SUBDIVISION, A SUBDIVISION RECORDED IN LIBER 6 OF PLATS PAGES 12 AND 13, CLINTON COUNTY RECORDS, 337.94 FEET; THENCE S0°17'22"W, ALONG THE WEST LINE OF ASSESSOR'S PLAT OF THE CITY OF DEWITT – SOUTH, A SUBDIVISION RECORDED IN LIBER 8 OF PLATS PAGES 16 – 23, CLINTON COUNTY RECORDS, 263.76 FEET; THENCE S43°32'50"W, 267.28 FEET; THENCE S52°33'54"E, 125.00 FEET; THENCE S59°38'41"E, 60.56 FEET; THENCE S51°00'22"E, 125.00 FEET TO THE NORTHWEST CORNER OF LOT 95, WILDFLOWER MEADOWS NO. 3, A SUBDIVISION RECORDED IN LIBER 11 OF PLATS PAGES 41 AND 42, CLINTON COUNTY RECORDS; THENCE ALONG THE BOUNDARY OF SAID SUBDIVISION NO. 3 THE FOLLOWING SIX (6) COURSES: S30°59'08"W, 48.63 FEET, S12°49'24"W, 93.31 FEET; 111.17 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 311.69 FEET, A DELTA ANGLE OF 20°26'08" AND A LONG CHORD OF 110.58 FEET, BEARING N87°23'40"W, S07°36'44"E, 60.00 FEET; 17.99 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 251.69 FEET, A DELTA ANGLE OF 4°05'44" AND A LONG CHORD OF 17.99 FEET, BEARING S80°20'24"W AND S05°32'46"E, 207.47 FEET TO THE NORTHWEST CORNER OF LOT 79, WILDFLOWER MEADOWS NO. 2, A SUBDIVISION RECORDED IN LIBER 11 OF PLATS PAGES 25 AND 26, CLINTON COUNTY RECORDS; THENCE ALONG THE BOUNDARY OF SAID SUBDIVISION NO. 2 THE FOLLOWING FIVE (5) COURSES: S05°32'46"E, 100.81 FEET; S19°12'03"E, 187.11 FEET; S12°51'21"E, 149.66 FEET; S03°54'36"E, 173.04 FEET AND S05°20'40"E, 85.05 FEET TO THE NORTHEAST CORNER OF LOT 69, WILDFLOWER MEADOWS, A SUBDIVISION RECORDED IN LIBER 10 OF PLATS PAGES 69–74, CLINTON COUNTY RECORDS; THENCE ALONG THE BOUNDARY OF SAID WILDFLOWER MEADOWS THE FOLLOWING FOUR (4) COURSES: S84°49'50"W, 222.31 FEET; N86°09'14"W, 101.24 FEET; S68°24'56"W, 66.59 FEET AND N85°37'00"W, 147.28 FEET TO THE POINT OF BEGINNING. SAID SUBDIVISION CONTAINS 15.50 ACRES AND 26 LOTS AND THREE PRIVATE PARKS.

THAT I HAVE MADE SUCH SURVEY, LAND–DIVISION AND PLAT BY THE DIRECTION OF THE OWNERS OF SUCH LAND. THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION OF IT. THAT THE REQUIRED MONUMENTS AND LOT MARKERS HAVE BEEN LOCATED IN THE GROUND OR THAT SURETY HAS BEEN DEPOSITED WITH THE MUNICIPALITY, AS REQUIRED BY THE ACT. THAT THE ACCURACY OF SURVEY IS WITHIN THE LIMITS REQUIRED BY THE ACT. THAT THE BEARINGS SHOWN ON THE PLAT ARE EXPRESSED AS REQUIRED BY THE ACT AND AS EXPLAINED IN THE LEGEND.

DATE _____

RECORDING CERTIFICATE
STATE OF MICHIGAN
CLINTON COUNTY)

THIS PLAT WAS RECEIVED FOR RECORD ON THE _____ DAY OF _____, 20____ AT _____, AND RECORDED IN LIBER _____ OF PLATS ON PAGE _____ OR DOCUMENT NUMBER _____.

STEPHANIE L. DUSH, REGISTER OF DEEDS

RONALD L. ENGER
MICHIGAN PROFESSIONAL
SURVEYOR NO. 28409
805 N. CEDAR ROAD
PO BOX 87
MASON, MICHIGAN 48854

WILDFLOWER MEADOWS NO. 4

A SUBDIVISION OF PART OF THE SW 1/4 OF SECTION 8, T5N R2W
CITY OF DEWITT, CLINTON COUNTY, MICHIGAN

PROPRIETOR'S CERTIFICATE
E.L. HOLDING CO., LLC, A LIMITED LIABILITY COMPANY, DULY ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF MICHIGAN BY, ROBERT K. SCHROEDER, MEMBER AS PROPRIETOR, HAS CAUSED THE LAND DESCRIBED IN THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS PLAT AND THAT THE STREETS ARE FOR THE USE OF THE PUBLIC: THAT FIONA PARK AND MAEVE PARK ARE PRIVATE PARKS FOR THE USE OF THE LOT OWNERS IN THIS SUBDIVISION AND FUTURE CONTIGUOUS SUBDIVISIONS WHERE TITLE IS TRACEABLE TO THIS PROPRIETOR; THAT THE PUBLIC UTILITY EASEMENTS ARE PRIVATE EASEMENTS AND THAT ALL OTHER EASEMENTS ARE FOR THE USES SHOWN ON THE PLAT.

E.L. HOLDING CO., LLC
1650 KENDALE SUITE 200
EAST LANSING, MICHIGAN 48823
CERTIFICATE NO. 801213182 FILED OCTOBER 8, 2002

ROBERT K. SCHROEDER, MEMBER

ACKNOWLEDGEMENT
STATE OF MICHIGAN)
INGHAM COUNTY) S.S

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS

DAY OF 2026, BY ROBERT K. SCHROEDER, MEMBER OF E.L. HOLDING CO., LLC, A MCHIGAN LIMITED LIABILITY COMPANY, ON BEHALF OF THE LIMITED LIABILITY COMPANY.

NOTARY PUBLIC _____, COUNTY, MICHIGAN

MY COMMISSION EXPIRES _____,
ACTING IN _____ COUNTY

PROPRIETOR'S CERTIFICATE
MERCANTILE BANK CORPORATION, A MICHIGAN CORPORATION, DULY ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF MICHIGAN BY, MARK D. CONN, VICE PRESIDENT AS PROPRIETOR, HAS CAUSED THE LAND DESCRIBED IN THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS PLAT AND THAT THE STREETS ARE FOR THE USE OF THE PUBLIC: THAT FIONA PARK AND MAEVE PARK ARE PRIVATE PARKS FOR THE USE OF THE LOT OWNERS IN THIS SUBDIVISION AND FUTURE CONTIGUOUS SUBDIVISIONS WHERE TITLE IS TRACEABLE TO THIS PROPRIETOR; THAT THE PUBLIC UTILITY EASEMENTS ARE PRIVATE EASEMENTS AND THAT ALL OTHER EASEMENTS ARE FOR THE USES SHOWN ON THE PLAT.

MERCANTILE BANK CORPORATION
3001 COOLIDGE ROAD
EAST LANSING, MICHIGAN 48823
IDENTIFICATION NO. 800511396 FILED JULY 15, 1997

MARK D. CONN, VICE PRESIDENT

ACKNOWLEDGEMENT
STATE OF MICHIGAN)
INGHAM COUNTY) S.S

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS

DAY OF 2026, BY MARK D. CONN, VICE PRESIDENT OF MERCANTILE BANK CORPORATION, A MICHIGAN CORPORATION, ON BEHALF OF THE CORPORATION.

NOTARY PUBLIC _____, COUNTY, MICHIGAN

MY COMMISSION EXPIRES _____,
ACTING IN _____ COUNTY

TREASURER'S CERTIFICATE
THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR SPECIAL ASSESSMENTS FOR THE FIVE YEARS PRECEDING _____, INVOLVING THE LANDS INCLUDED IN THIS PLAT.

STEVEN WISWASSER, COUNTY TREASURER
CLINTON COUNTY

COUNTY DRAIN COMMISSIONER'S CERTIFICATE

APPROVED ON _____, AS COMPLYING WITH 1967 PA 288, MCL 560.192 AND THE APPLICABLE RULES AND REGULATIONS PUBLISHED BY MY OFFICE IN THE COUNTY OF CLINTON.

DATE SIGNED _____
PHILLIP HANSES, DRAIN COMMISSIONER
CLINTON COUNTY

MUNICIPAL CERTIFICATE

I CERTIFY THAT THIS PLAT WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF

DEWITT AT A MEETING HELD _____ AND WAS REVIEWED AND FOUND TO BE IN COMPLIANCE WITH 1967 PA 288, MCL 560.101 TO 560.293: THAT PUBLIC WATER AND PUBLIC SEWER SERVICES HAVE BEEN INSTALLED AND ARE READY FOR CONNECTION, THAT THE MUNICIPALITY HAS ADOPTED A SUBDIVISION CONTROL ORDINANCE AND WAIVES THE MINIMUM LOT SIZE SPECIFIED, AND THAT SURETY IS POSTED NOT TO EXCEED ONE YEAR FOR THE PLACEMENT OF MONUMENTS AND LOT MARKERS.

DATE SIGNED _____
ALYSSA RAMIREZ, CLERK

COUNTY PLAT BOARD CERTIFICATE

THIS PLAT HAS BEEN REVIEWED AND IS APPROVED BY THE CLINTON COUNTY PLAT

BOARD ON _____ AS BEING IN COMPLIANCE WITH ALL OF THE PROVISIONS OF 1967 PA 288, MCL 560.101 TO 560.293 AND THE PLAT BOARD'S APPLICABLE RULES AND REGULATIONS.

BRUCE DELONG, CHAIRPERSON

STEPHANIE L. DUSH, COUNTY CLERK/REGISTER OF DEEDS

STEVEN WISWASSER, COUNTY TREASURER