



CITY OF DEWITT

DEWITT CITY HALL · 414 EAST MAIN STREET · DEWITT, MICHIGAN 48820

CITY OF DEWITT PLANNING COMMISSION - AGENDA DeWitt City Hall 414 East Main Street Thursday, July 23, 2026 @ 6:00 PM

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES: February 26, 2026 Minutes

PUBLIC COMMENTS

NEW BUSINESS:

1. Review Site Plan for DeWitt Farmers Market and Parking Lot

Recommended Action: Approval of the site plan for the DeWitt Farmers Market and Parking Lot project.

ADJOURNMENT

Official minutes of meetings are available for public inspection at the Clerk's Office, 414 East Main Street, DeWitt, MI (517) 669-2441. The City of DeWitt will provide to individuals with disabilities, reasonable auxiliary aids and services which are needed to fully participate in any meeting providing a 72-hour notice is received by phone or in writing.

Contact the City Clerk at the above address or phone # to request the necessary assistance. **Posted: 7/21/2026**

CALL TO ORDER:

Chairman Ware called the meeting to order at 6:03pm and Commissioner Wheeler led the pledge of allegiance.

ROLL CALL

Members Present: Ware, VanDyke, Clement, Gackstetter, Patterson, Wheeler, Lee
Members Excused: None

STAFF:

City Administrator Daniel Coss, Clerk-Treasurer Sarah Stoltzfus

AUDIENCE:

Dave Hunsaker, 713 Larchmont St., DeWitt, MI
Sheryl Landgraf, 110 N. Market St., DeWitt, MI

APPROVAL OF AGENDA:

Motion by Commissioner Wheeler, seconded by Commissioner Patterson and carried by unanimous vote of the Planning Commission that **the Planning Commission's agenda for February 26, 2026 be approved as presented. MOTION CARRIED.**

APPROVAL OF MINUTES:

Motion by Commissioner Wheeler, seconded by Commissioner Gackstetter and carried by unanimous vote of the Planning Commission that **the minutes of the January 22, 2026 Planning Commission Meeting be approved as presented. MOTION CARRIED.**

PUBLIC COMMENTS:

None

NEW BUSINESS:

1. Review PUD Concept Plan

The Planning Commissioners reviewed a concept plan for the land development at DeWitt and Herbison road. Administrator Coss went over the PUD (Planned Unit Development) Concept Plan and answered any questions that the commissioners had. The Commissioners expressed their concerns and viewpoints, collectively agreeing that they were not in favor of the concept and that the developer needs to stick to the Master Plan and zoning requirements. There were zoning discrepancies, density issues and it does not meet zoning requirements. **Discussion only.**

ADJOURNMENT:

Motion by Commissioner VanDyke seconded by Commissioner Patterson and carried by unanimous vote of the Planning Commission that **the meeting be adjourned at 7:05 pm. MOTION CARRIED.**

Respectfully submitted,

Sarah Stoltzfus, Clerk-Treasurer

Staff Report Planning Commission

Agenda Item: NB #1
Meeting Date: July 23, 2026

TO: Planning Commission Members

FROM: Dan Coss, City Administrator

DATE: July 21, 2026

RE: Farmers Market & Parking Lot Site Plan – 119 West Jefferson

FACTS: Attached for the Planning Commissions review is the site plan for the Farmers Market Project at 119 West Jefferson.

This project is a public infrastructure project that is being funded, in part, by a grant from LEAP, Inc. and MEDC in the amount of \$500,000.00.

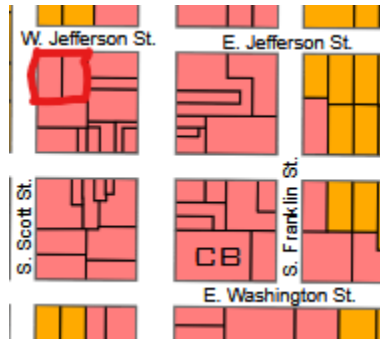
The remainder of the project is funded by the City of DeWitt and the DeWitt Downtown Development Authority, \$1,220,000.00 and \$80,000.00 respectively.

Recommended Action: Approval of the site plan for the DeWitt Farmers Market and Parking Lot project.

Proposed Site – SE Corner N. Scott St and W. Jefferson St.

Zoning – Central Business District

Proposed Use – Public Use (Farmers Market and Public Parking)



SITE DEVELOPMENT DIMENSIONAL REQUIREMENTS

	Building Feature	Requirement	Provided	Compliance
Lot	Minimum lot area (sq.ft.)	0 ft.	0 ft.	Met
	Minimum lot width	0 ft	0 ft	Met
	Maximum coverage	90%	64.4% (11,220 cov./17,424 lot)	Met
Setbacks	Front yard	0 ft.	35 ft.	Met
	Side yard	0 ft.	East - 32 ft.	Met
	Rear yard	15 ft.	N/A – Corner Lot	Met
Max. height	Building height	19.5 ft.	Sheet L9 shows maximum height to peak of roof at the south end of site	Met

Site Design Requirement – Non-Residential

Exterior Building Design & Building Materials – the proposed structure is an steel open-air pavilion with a partially enclosed storage and office space for the Farmers Market during June-October. The enclosed exterior portion of the building will be covered with a cement fiber board with traditional brick accents. The columns of the main structure will be partially encased with the same traditional style brick.

Roof Design – The roof will be a standing seam metal roof, similar in nature to the structures located in additional City parks.

Ingress/Egress – Ingress and egress will be one-way from West Jefferson Street. The ingress curb cut will be furthest west and closest to North Scott Street and the egress is on the east side of the lot. The egress point will have signage “No Left Turn”, so as to direct exiting traffic east towards Bridge Street.

Building Sign/Colors – At this time there is no sign planned for the structure. Signage will be in the form of banners placed on the parking lot light poles. The color scheme of the building is natural blue and tan tones, with a more “traditional” red brick for accents.

Pedestrian Walkways – The site will have sidewalks on both street sides and will extend to Bridge Street and Main Street to connect with the central business district.

Waste Receptacles – The site includes a dumpster enclosure in the south east corner of the site. The design of the enclosure is on sheet L8.

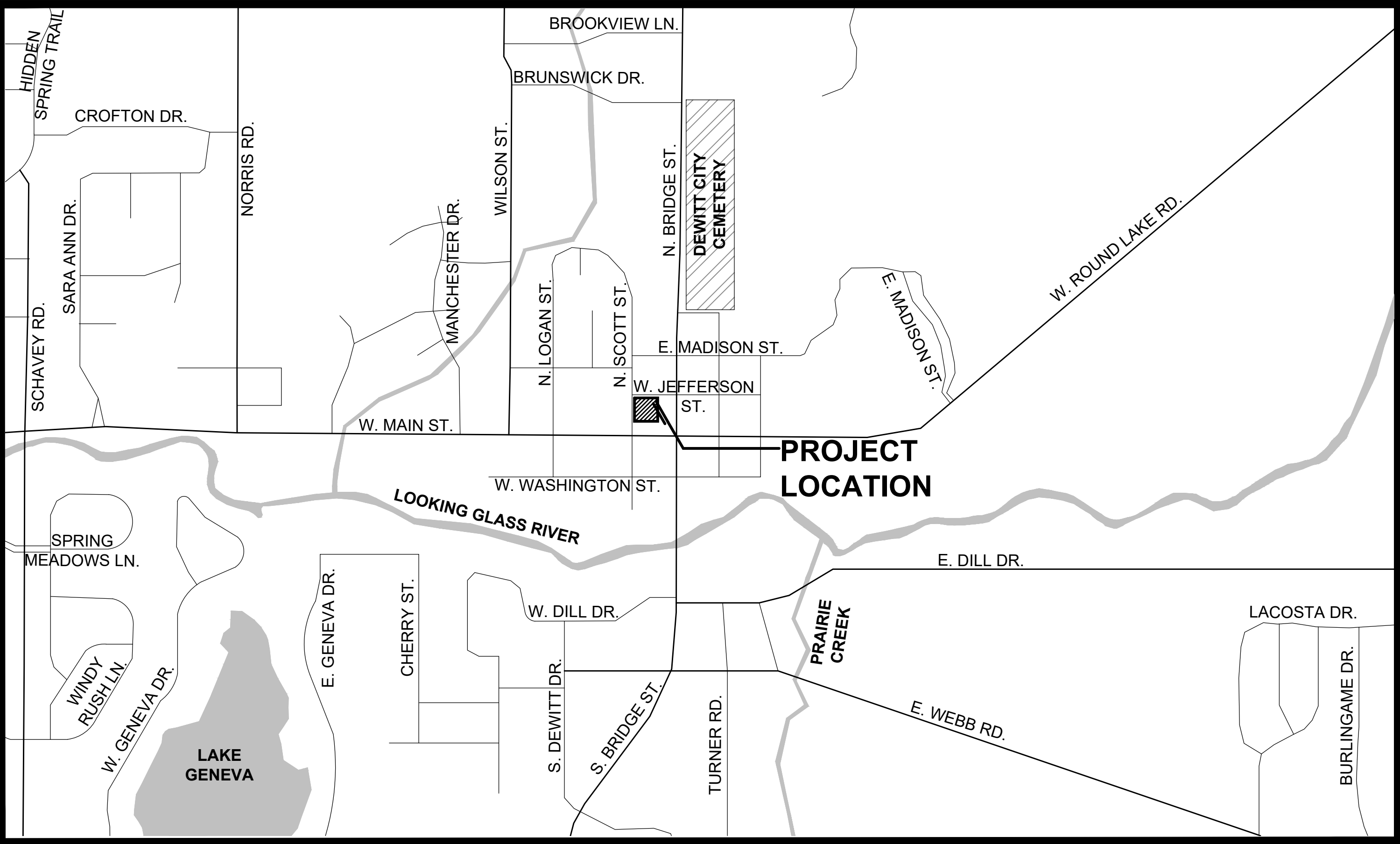
Mechanical/Electrical Equipment – All of the equipment will be inside the storage room of the enclosed portion of the building. The project does include burial of all remaining overhead utilities on North Bridge Street, North Scott Street and West Jefferson Street.

Stormwater Management – The stormwater will all be contained on site with the use of perforated storm sewer structures to allow for infiltration on-site.

Site Lighting – Sheets E-200 and E-800 show the location and design of the on-site post top lights. All light will be contained on-site and shields will be provided on each of the “off-site” side of the post top globes.

CONSTRUCTION PLANS DEWITT FARMERS MARKET

CITY OF DEWITT, MICHIGAN
Bid Set 5.11.2026



LOCATION MAP

NOT TO SCALE



CONSULTING TEAM MEMBERS:

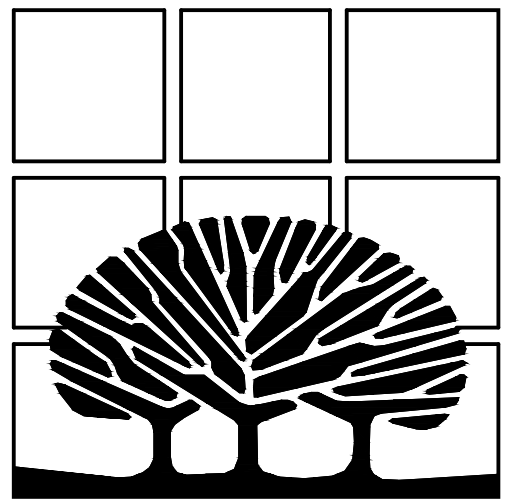
Surveying and Civil Engineer
LRE Engineers & Surveyors
2121 3 Mile Road NW
Walker, MI 49544
(616) 301-7888

Geotechnical
Soils & Structures
6480 Grand Haven Rd.
Muskegon, MI 49441
(800) 933-3959

Mechanical, Electrical, & Plumbing
Engineering
Matrix Engineering
2828 Kraft Ave SE Suite 149
Grand Rapids, MI 49512
(517) 487-2511

MCSA GROUP, INC.

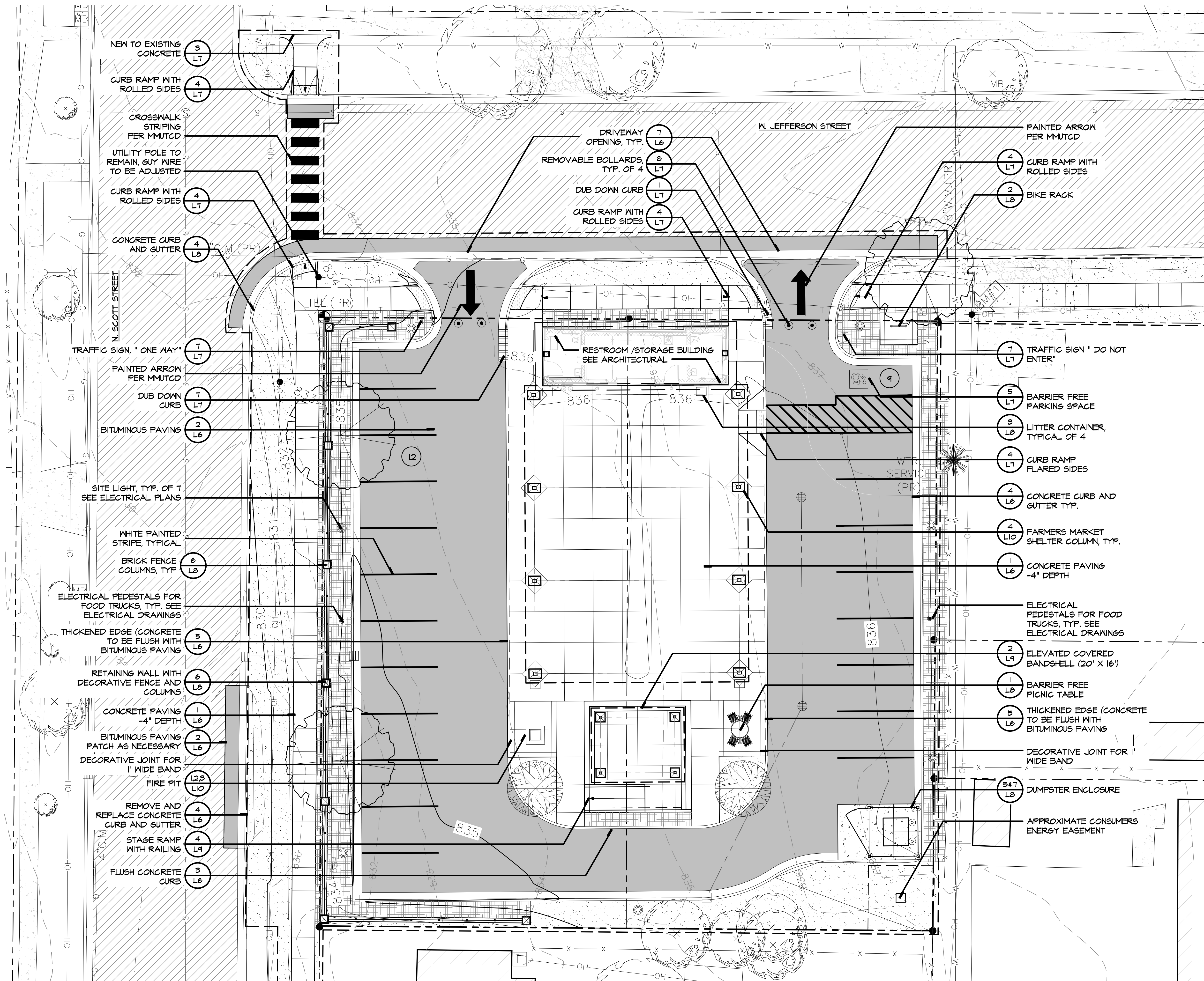
Landscape Architecture • Park & Recreation Planning • Architecture
Downtown Planning • Interior Design • Sports Facility Planning
529 Greenwood Avenue S.E. • East Grand Rapids, MI 49506
616-451-3346 • FAX: 616-451-1935 • EMAIL: tas@mcsagroup.com



SHEET INDEX

- L1 Overall Site Plan
- L2 Site Plan Enlargement
- L3 Existing Conditions & Removals Plan
- L4 Layout Plan
- L5 Landscape Plan
- L6-11 Construction Details
- C1 Topographic Boundary Survey & Removals
- C2 Grading & SESC Plan
- C3 Utility Plan
- A1 Floor Plans, Schedules
- S001 Structural Notes
- S101 Structural Foundation Plans
- S102 Structural Framing Plans
- S301 Structural Foundation Details
- S401 Structural Framing Details
- M100 Mechanical Symbols, Notes, and Abbrev.
- MP101 Mechanical and Plumbing Specifications
- M400 Floor Plan - Mechanical
- P100 Plumbing Symbols, Notes, and Abbrev.
- P200 Site Plan - Gas Utility
- P400 Floor Plan - Plumbing
- E100 Electrical Notes, Symbols, and Abbrev.
- E101 Electrical Specifications
- E200 Electrical Site Plan Lighting + Power
- E500 Bathroom Building Floor Plans Lighting + Power
- E800 Electrical Details + Schedules





SITE GENERAL NOTES:

1. SITE PLAN SHOWN FOR GENERAL INFORMATION AND DETAIL REFERENCE ONLY. SEE FOLLOWING PLAN SHEETS FOR EXISTING CONDITIONS AND REMOVALS, LAYOUT, PLANTING, AND GRADING INFORMATION.

COMPLIANCE:

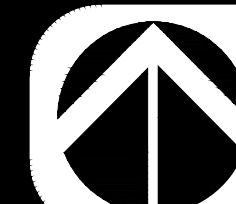
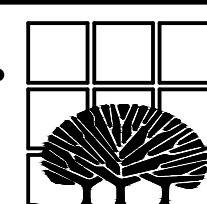
- ALL CONSTRUCTION SHALL CONFORM TO ALL ASPECTS OF THE STATE OF MICHIGAN BUILDING CODE (MBC), THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND THE AMERICANS WITH DISABILITIES ACT (ADA). ALL WORK BY THE CONTRACTOR FOR COMPLETE EXECUTION OF THIS PROJECT SHALL MEET OR EXCEED LAWS, GUIDELINES, AND STATUTES IN EVERY SITUATION. IN THE EVENT THE CONTRACTOR BELIEVES THAT ANY PORTION OF THE WORK IS INCONSISTENT WITH THE MBC, ADAAG, AND ADA THEY MUST IMMEDIATELY INFORM THE LANDSCAPE ARCHITECT.

SITE LEGEND

- DETAIL NUMBER
SHEET NUMBER
- BITUMINOUS PAVING
- CONCRETE PAVING
- 4" DEPTH
- CONCRETE PAVING
- 8" DEPTH
- PLANTING BED, WITH WOOD MULCH,
SEE LANDSCAPE PLAN
- LAWN SEEDING
- EXISTING BITUMINOUS
PAVING
- APPROXIMATE LIMIT OF
WORK

DEWITT FARMERS MARKET
CITY OF DEWITT, MICHIGAN

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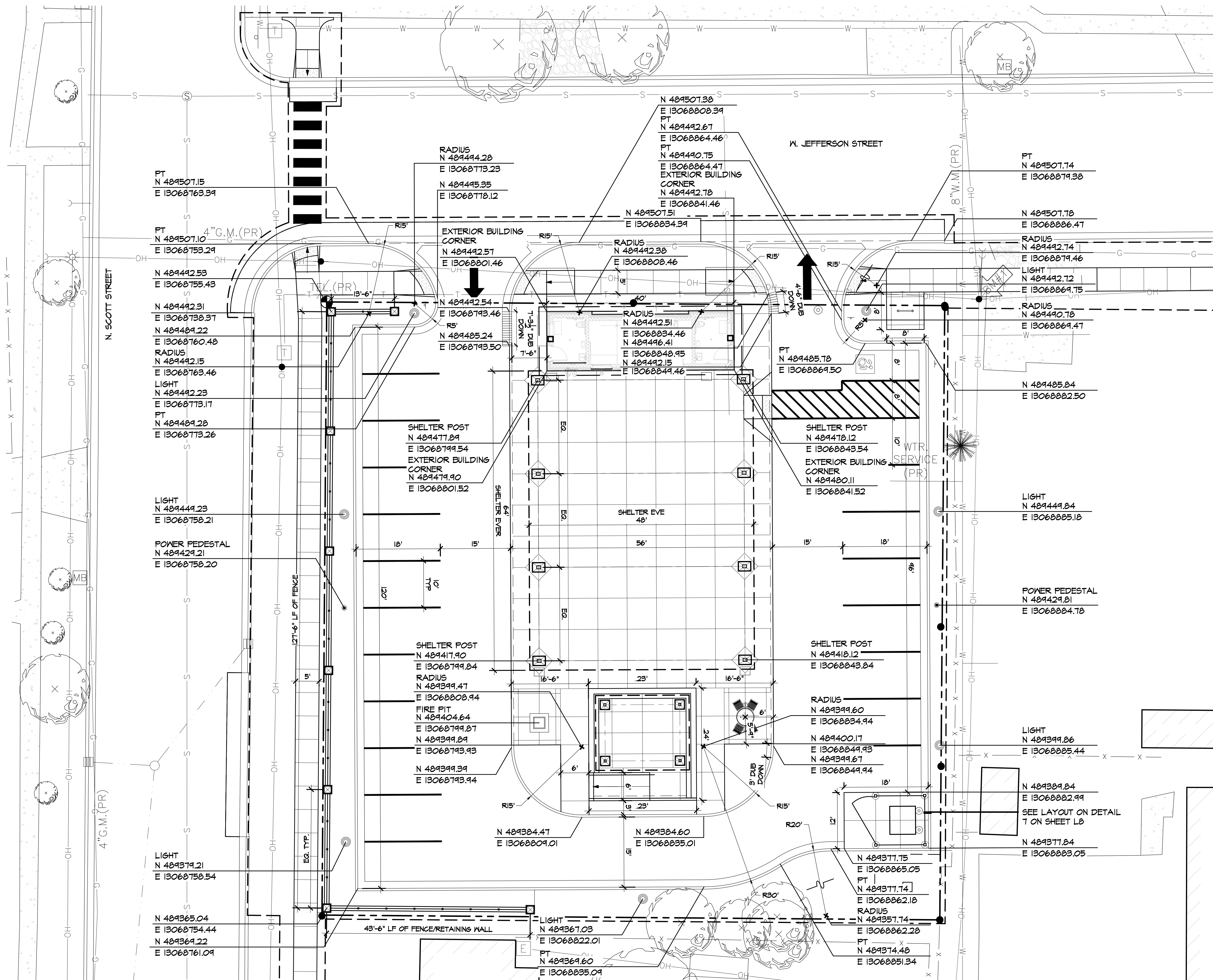


SCALE:
1" = 10'

Site Plan Enlargement

DATE
05.11.2026
REVISIONS

PROJECT NO.
2273
SHEET NO.
L2



LAYOUT NOTES:

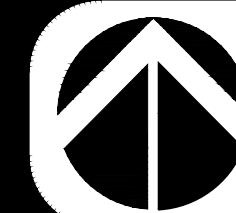
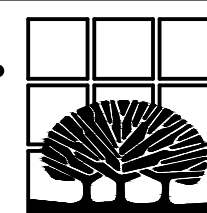
1. ALL LAYOUT IS TO BE STAKED BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
2. NORTHINGS AND EASTINGS REFLECT MAJOR END POINTS OF SITE ELEMENTS. THESE NORTHINGS AND EASTINGS MAY ONLY BE ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT.
3. NORTHING/EASTING AND DIMENSIONS OF CURB AND GUTTER ARE TAKEN FROM FLOW LINE.
4. CONTRACTOR SHALL VERIFY IN THE FIELD ALL LINES AND DIMENSIONS INDICATED IN THE PLANS AND REPORT ANY INCONSISTENCIES TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.
5. ALL ANGLES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO RECEIVE ELECTRONIC FILES OF PLANS IN AUTOCAD 2024 PRIOR TO CONSTRUCTION.
7. ADDITIONAL DIMENSIONS AND COORDINATES CAN BE AVAILABLE UPON REQUEST.
8. SEE SHEET LI FOR ADDITIONAL LAYOUT INFORMATION

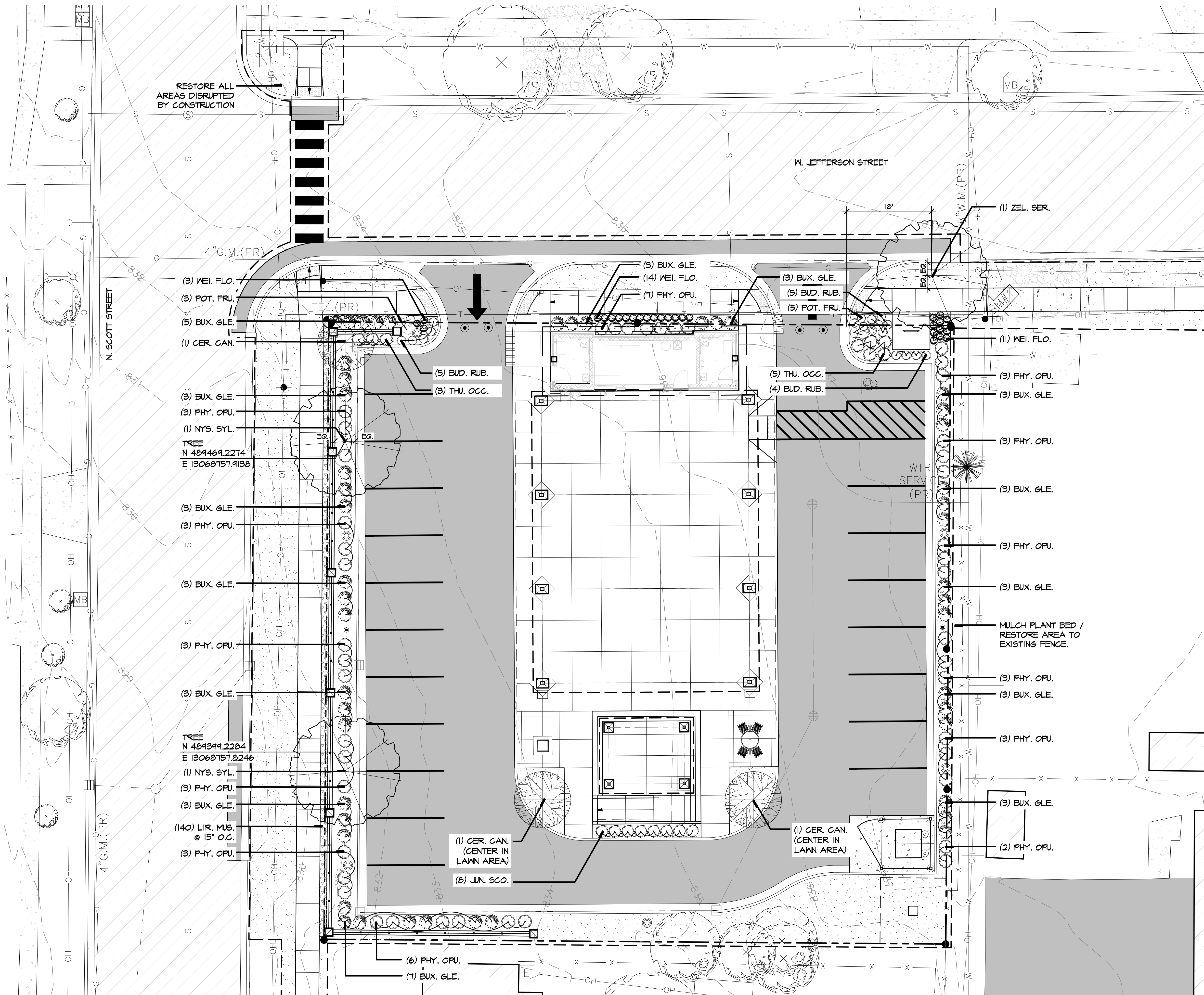
COMPLIANCE:

- ALL CONSTRUCTION SHALL CONFORM TO ALL ASPECTS OF THE STATE OF MICHIGAN BUILDING CODE (MBC), THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND THE AMERICANS WITH DISABILITIES ACT (ADA). ALL WORK BY THE CONTRACTOR FOR COMPLETE EXECUTION OF THIS PROJECT SHALL MEET OR EXCEED LAWS, GUIDELINES, AND STATUTES IN EVERY SITUATION. IN THE EVENT THE CONTRACTOR BELIEVES THAT ANY PORTION OF THE WORK IS INCONSISTENT WITH THE MBC, ADAAG, AND ADA THEY MUST IMMEDIATELY INFORM THE LANDSCAPE ARCHITECT.

LEGEND

PT = POINT OF TANGENCY





LANDSCAPE NOTES:

1. PLANTING SOIL AND MULCH FOR ALL TREES, SHRUBS, AND PERENNIALS SHALL BE AS PER APPROPRIATE DETAIL.
2. ALL TREES TO BE STAKED BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
3. TREES SHALL BE FURNISHED, BALLED, AND BURLAPPED.
4. SEED ALL DISTURBED AREAS. SEED LIMIT LINE (LIMITS OF DISTURBANCE) IS APPROXIMATE, ALL DISTURBED AREAS SHALL BE SEEDED AND RESTORED, UNLESS OTHERWISE NOTED.
5. SEE SPECIFICATION FOR SEED MIX.
6. CONTRACTOR TO FURNISH AND INSTALL 4" MINIMUM OF SCREENED TOPSOIL ON ALL AREAS TO RECEIVE SEED. EXISTING ON SITE TOP SOIL MAY BE USED. IT MUST BE TESTED AND AMENDED PER SPECIFICATIONS. IF THERE IS NOT ENOUGH TOPSOIL TO ACHIEVE A MINIMUM OF 4" DEPTH, THEN TOP SOIL SHALL BE IMPORTED.
7. FINISH SURFACE OF SEEDED LAWN SHALL BE 1" BELOW TOP FINISH SURFACE OF WALK TO ALLOW FOR GROWTH OF TURF.
8. SEE PLANTING DETAILS ON SHEET LII
9. PER SPECIFICATIONS THE CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING THE MAINTENANCE PERIOD. ALL DECIDUOUS TREES SHALL RECEIVE TREE WATERING DEVICES.

PLANT MATERIAL LIST

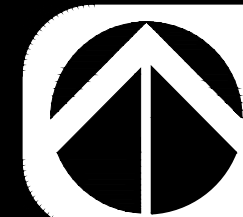
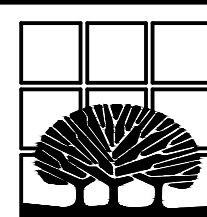
PLANT KEY	TOTAL QUANTITY	SIZE	COMMON NAME BOTANICAL NAME
DECIDUOUS CANOPY TREES: TO BE FURNISHED BALLED AND BURLAPPED			
NYS. SYL.	2	2.5" CAL.	GREEN GABLE BLACK GUM <i>Nyssa sylvatica</i> 'Green Gable'
ZEL. SER.	1	3.0" CAL.	GREEN VASE JAPANESE ZELKOVA <i>Zelkova serrata</i> 'Green Vase'
ORNAMENTAL TREES			
CER. CAN.	3	2.0" CAL.	EASTERN REDBUD TREE SINGLE STEM <i>Cercis canadensis</i>
SHRUBS:			
BUD. RUB.	14	5 GAL.	LO & BEHOLD RUBY CHIP <i>Buddleia x Lo & Behold Ruby Chip</i>
BUX. GLE.	48	5 GAL.	CHICAGOLAND GREEN BOXWOOD <i>Buxus x 'Glencoe'</i>
JUN. SCO.	8	5' HT.	BLUE ARROW JUNIPER <i>Juniperus scopulorum</i> 'Blue Arrow'
PHY. OPU.	45	5 GAL.	PICKLEBALL NINEBARK <i>Physocarpus opulifolius</i>
POT. FRU.	8	5 GAL.	HAPPY FACE ORANGE POTENTILLA <i>Potentilla fruticosa</i>
THU. OCC.	8	5 GAL.	DWARF GLOBE ARBORVITAE <i>Thuja occidentalis</i> 'Hetz Midget'
WEI. FLO.	28	5 GAL.	MY MONET WEIGELA <i>Weigela florida</i> 'My Monet'
PERENNIALS:			
LIR. MUS.	140	#1 POT.	ROYAL PURPLE LILYTURF <i>Liriope muscari</i> 'Royal Purple'

LANDSCAPE LEGEND

- LAWN SEEDING WITH 4" OF TOPSOIL
- ROYAL PURPLE LILYTURF AT 15" O.C.
- PROPOSED SHRUBS
- PROPOSED DECIDUOUS AND ORNAMENTAL TREES
- APPROXIMATE LIMIT OF WORK

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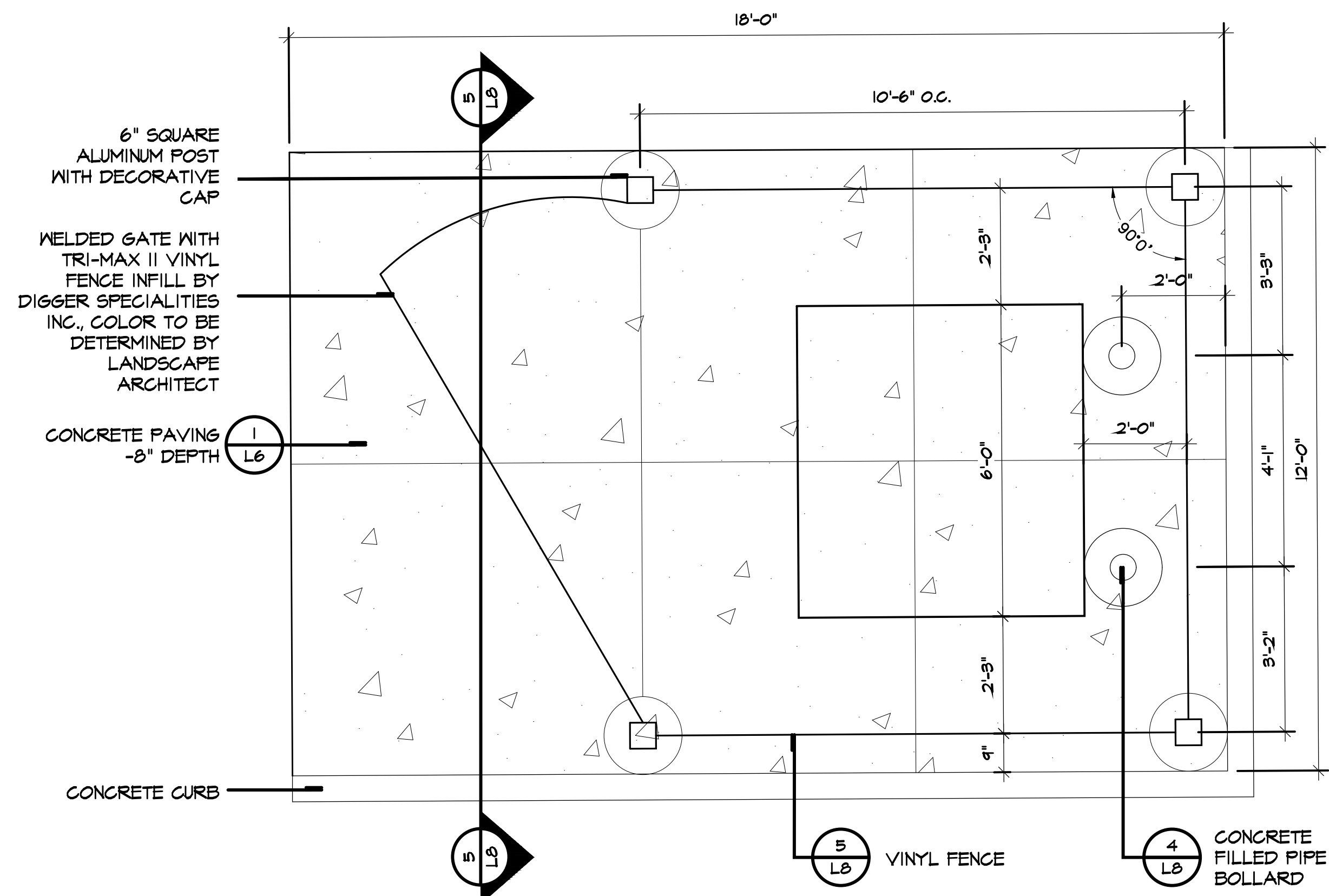


SCALE:
1" = 10'

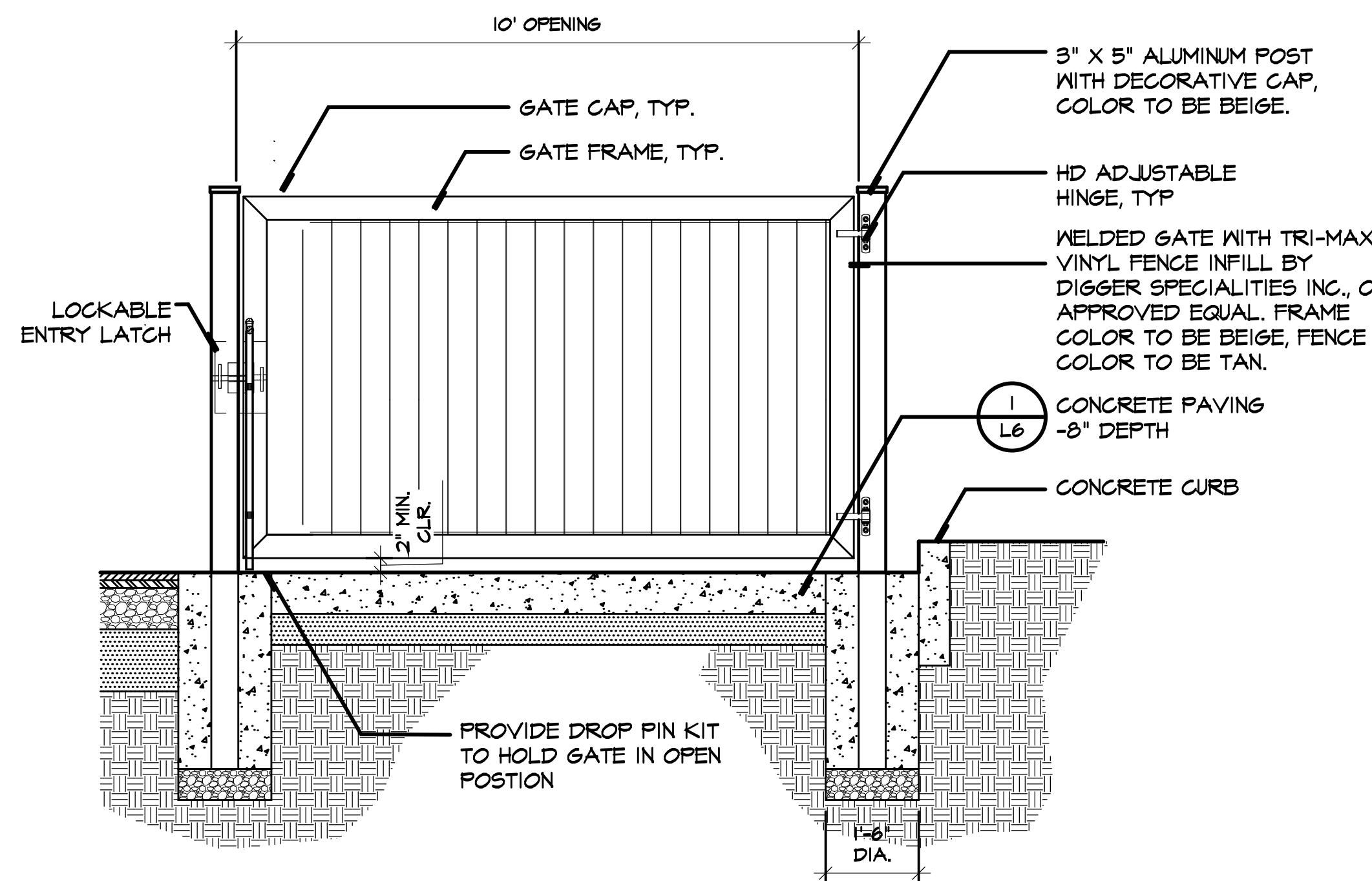
Landscape Plan

DATE
05.11.2026
REVISIONS

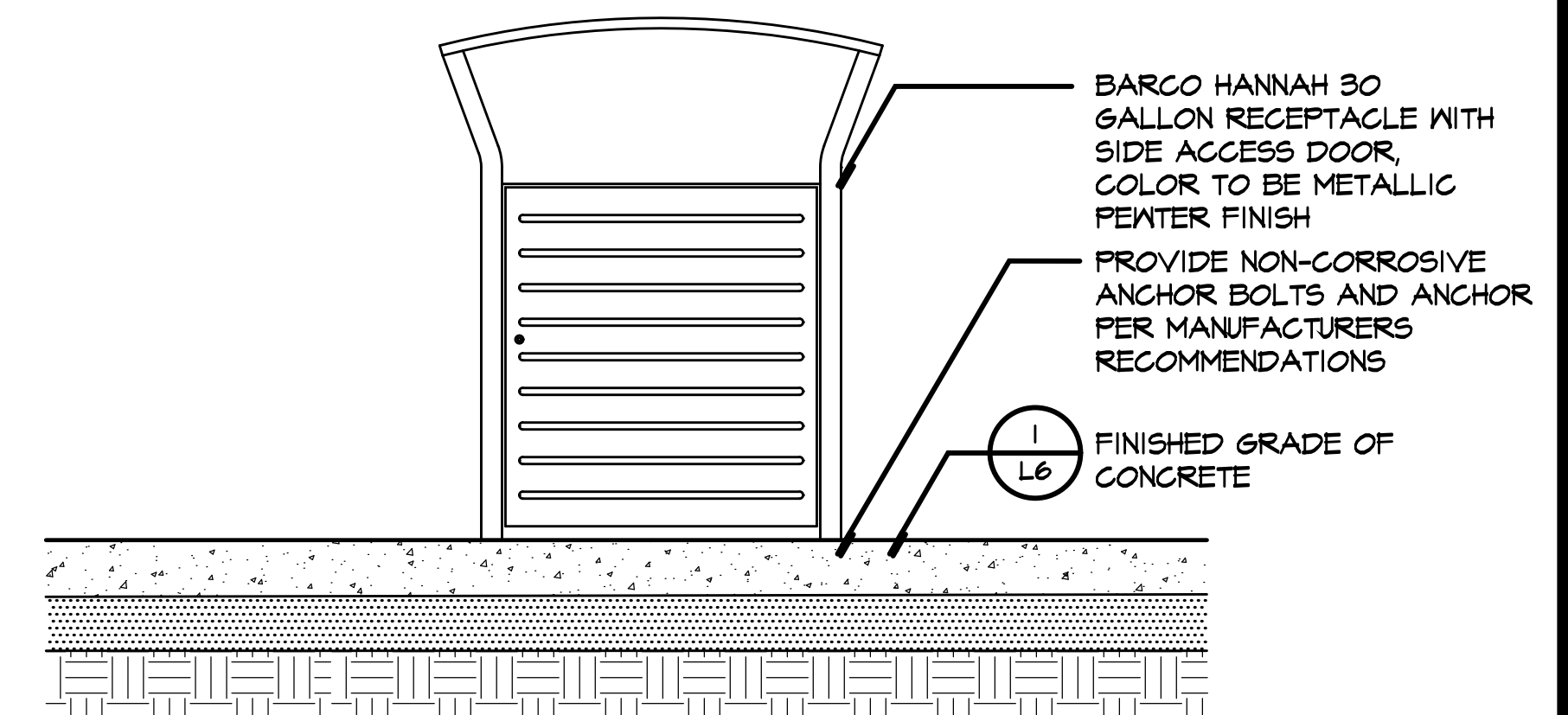
PROJECT NO.
2273
SHEET NO.
L5



7 Dumpster Enclosure - Plan
Scale: 1/2"=1'-0"

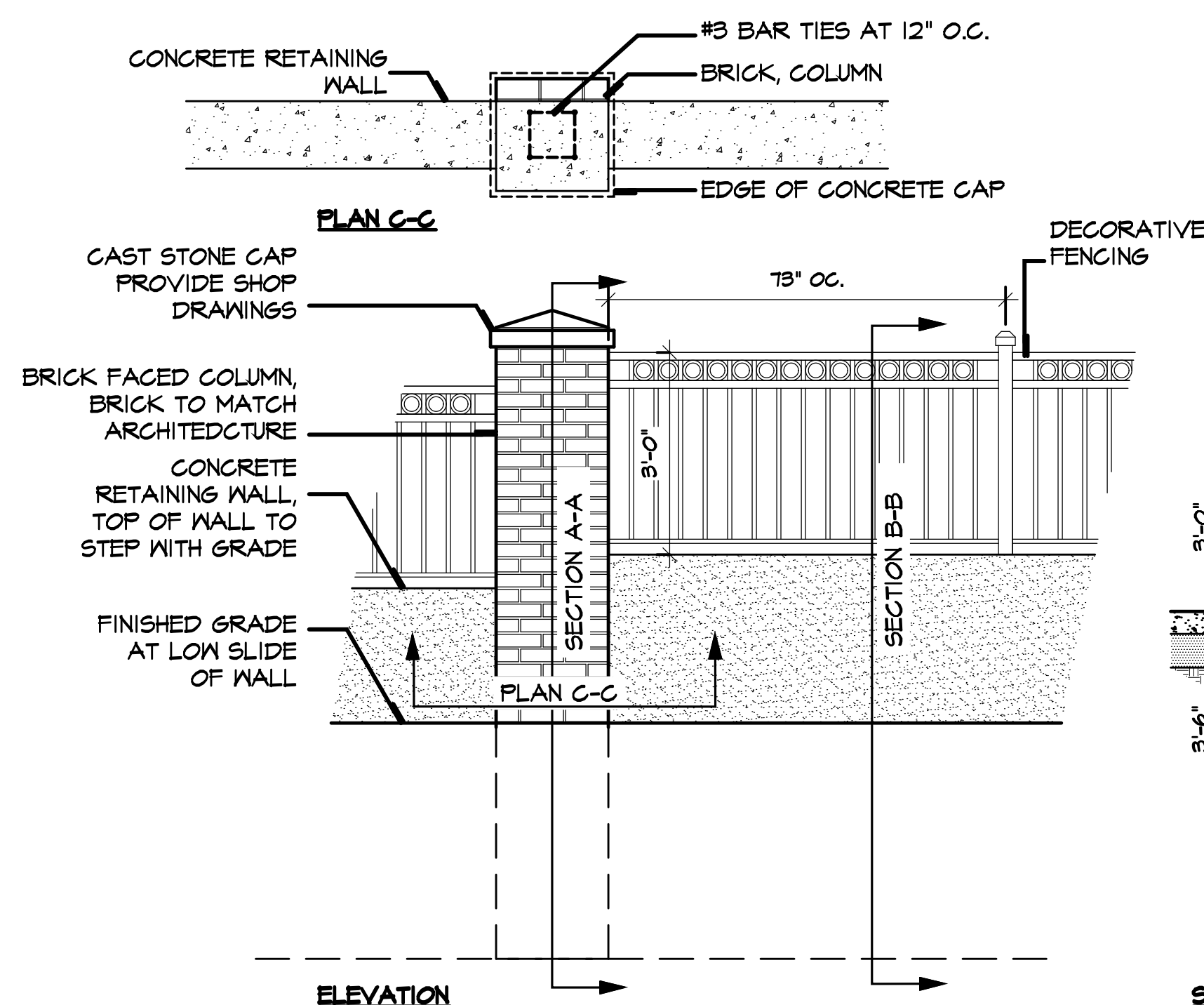


5 Dumpster Enclosure - Elevation
Scale: 1/2"=1'-0"



3 Litter Containers
Scale: 1"=1'-0"

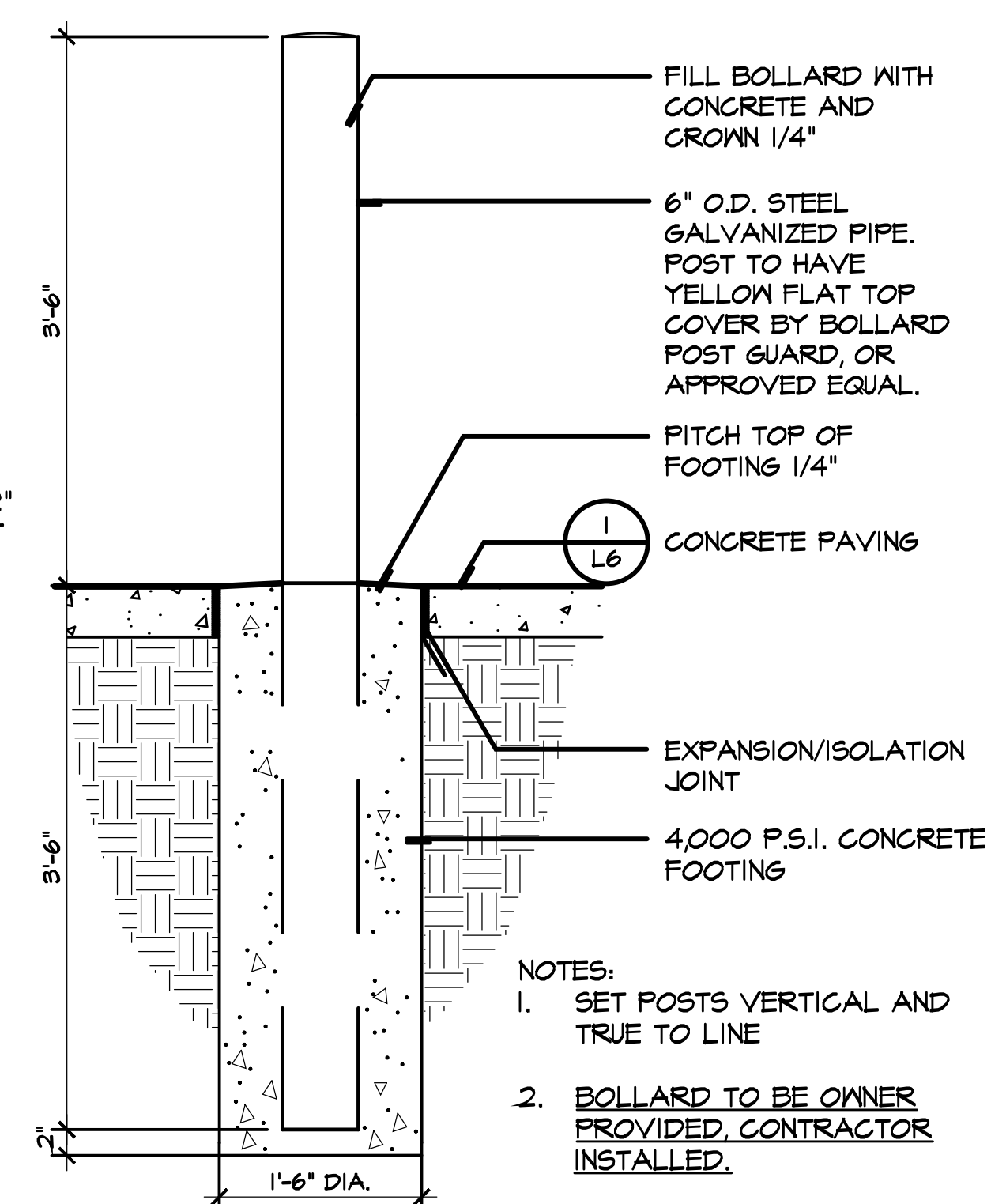
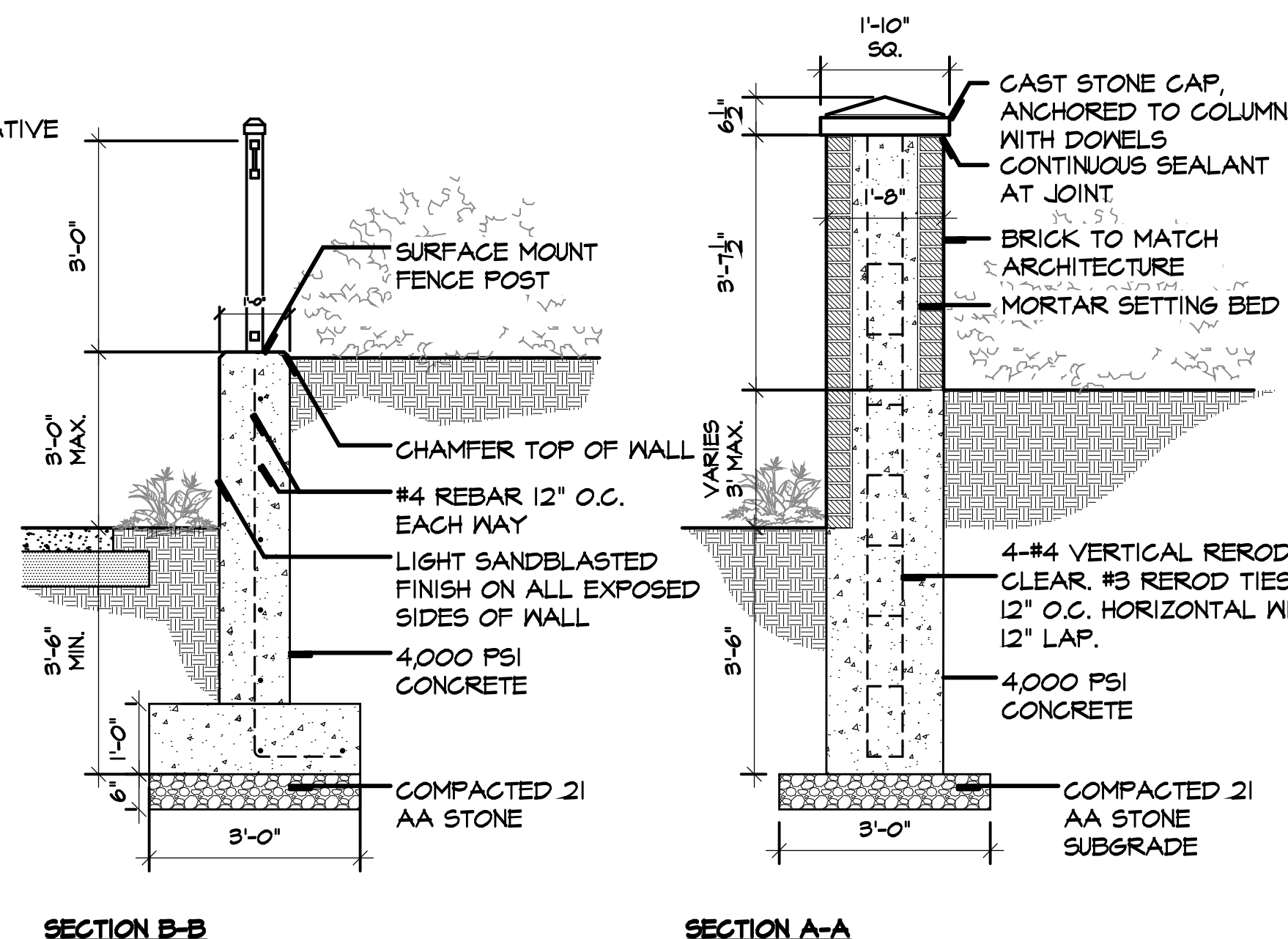
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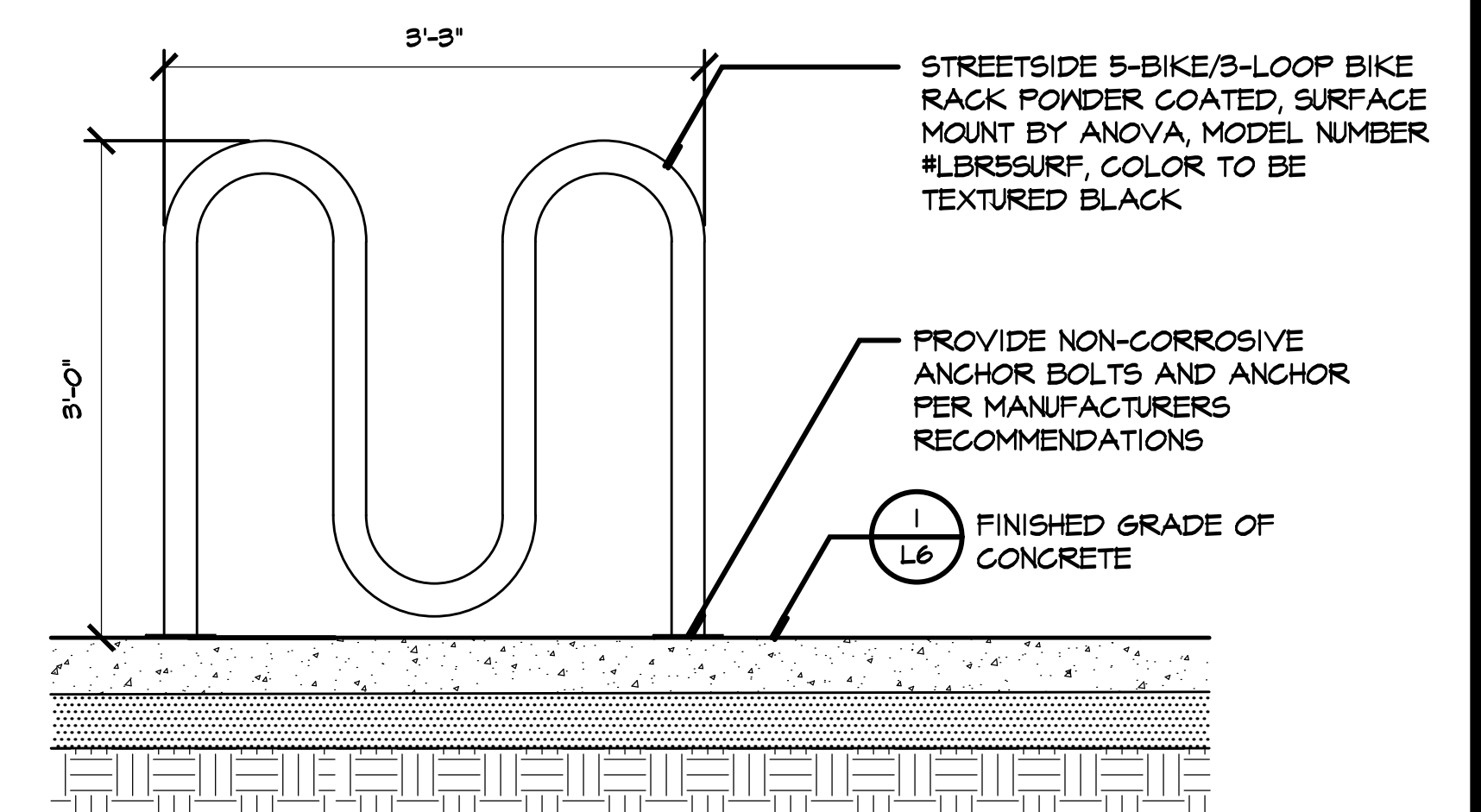
FENCE NOTES:
FENCE TO MATCH EXISTING CITY FENCE, BY JERITH INDUSTRIES WINDSOR PLUS 4" GAPE 36" HEIGHT WITH RINGS. PHONE 1.800.344.2242 WEB WWW.JERITH.COM INSTALL PER MANUFACTURES SPECIFICATIONS. FENCE TO BE SURFACE MOUNTED.

6 Retaining Wall with Decorative Columns and Fence
Scale: 1/2"=1'-0"

SHOP DRAWINGS REQUIRED

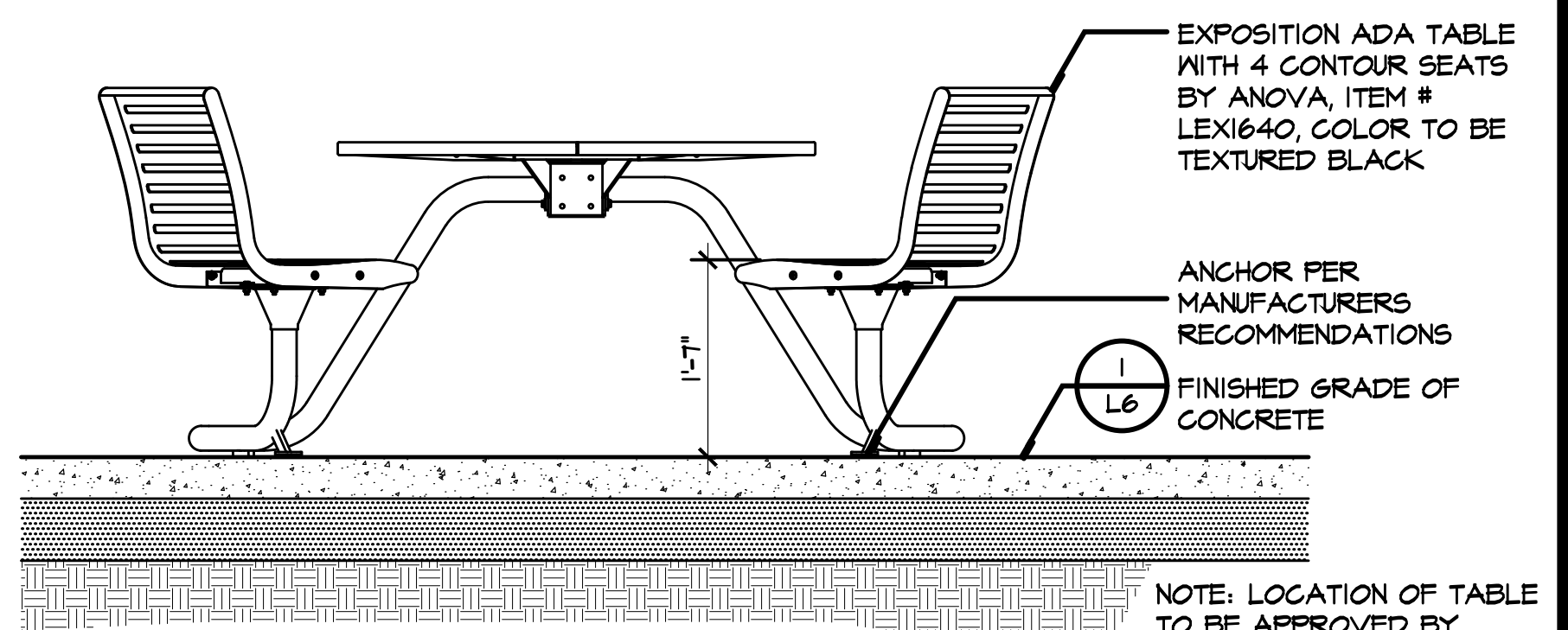


4 Concrete Filled Pipe Bollard
Scale: 1"=1'-0"



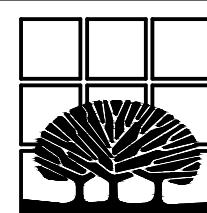
2 Bike Rack - Section
Scale: 1"=1'-0"

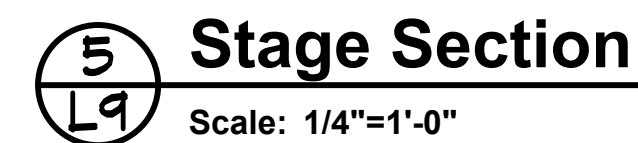
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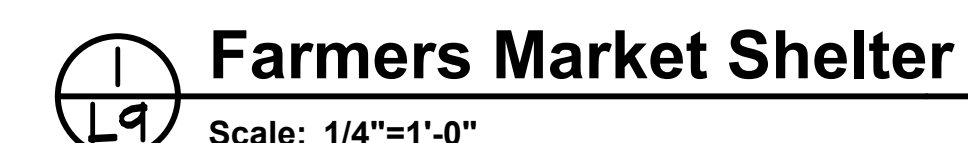
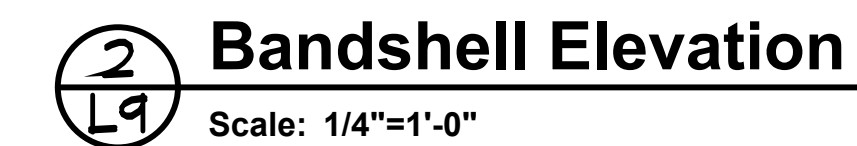
1 Barrier Free Picnic Table
Scale: 3/4"=1'-0"

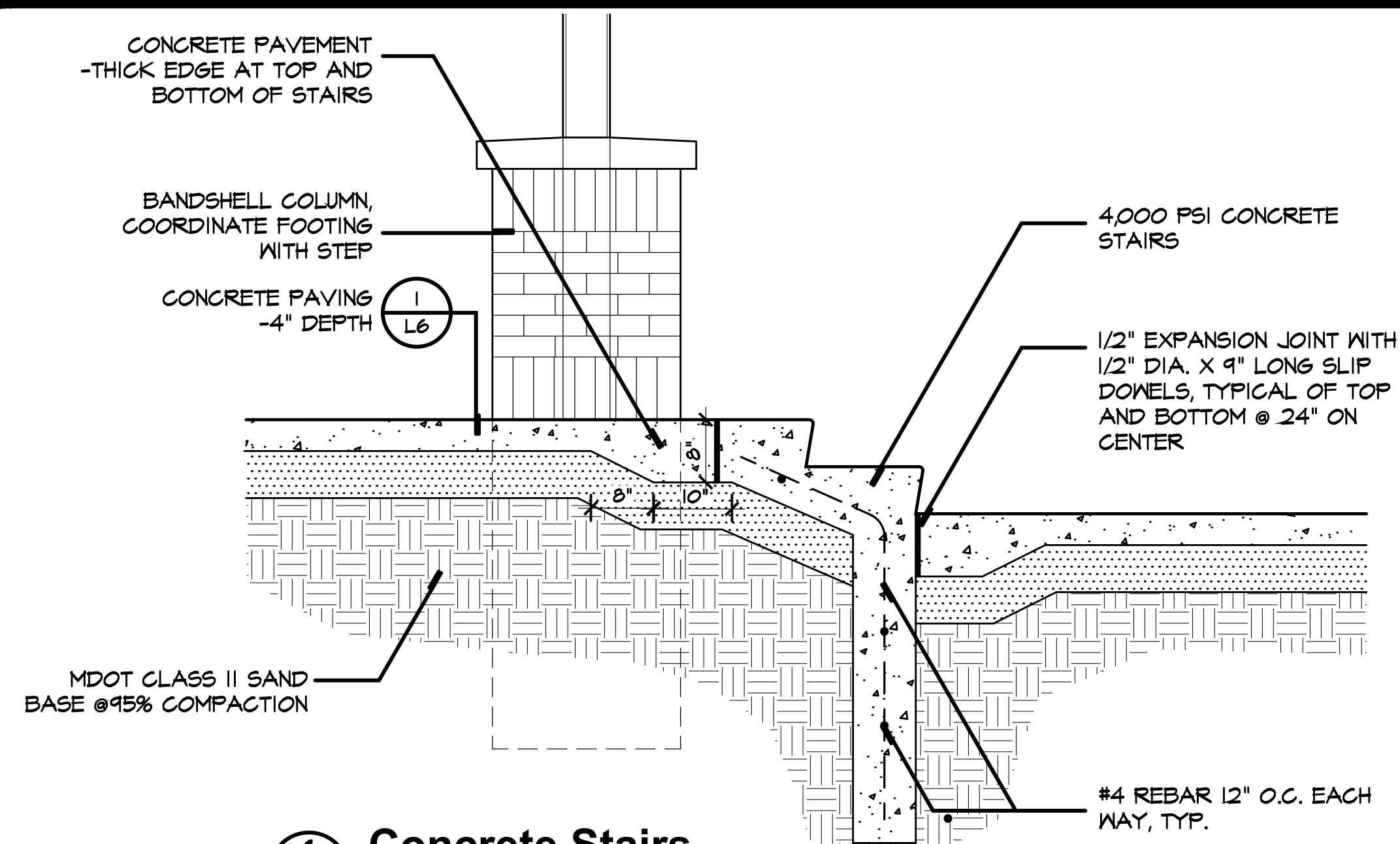
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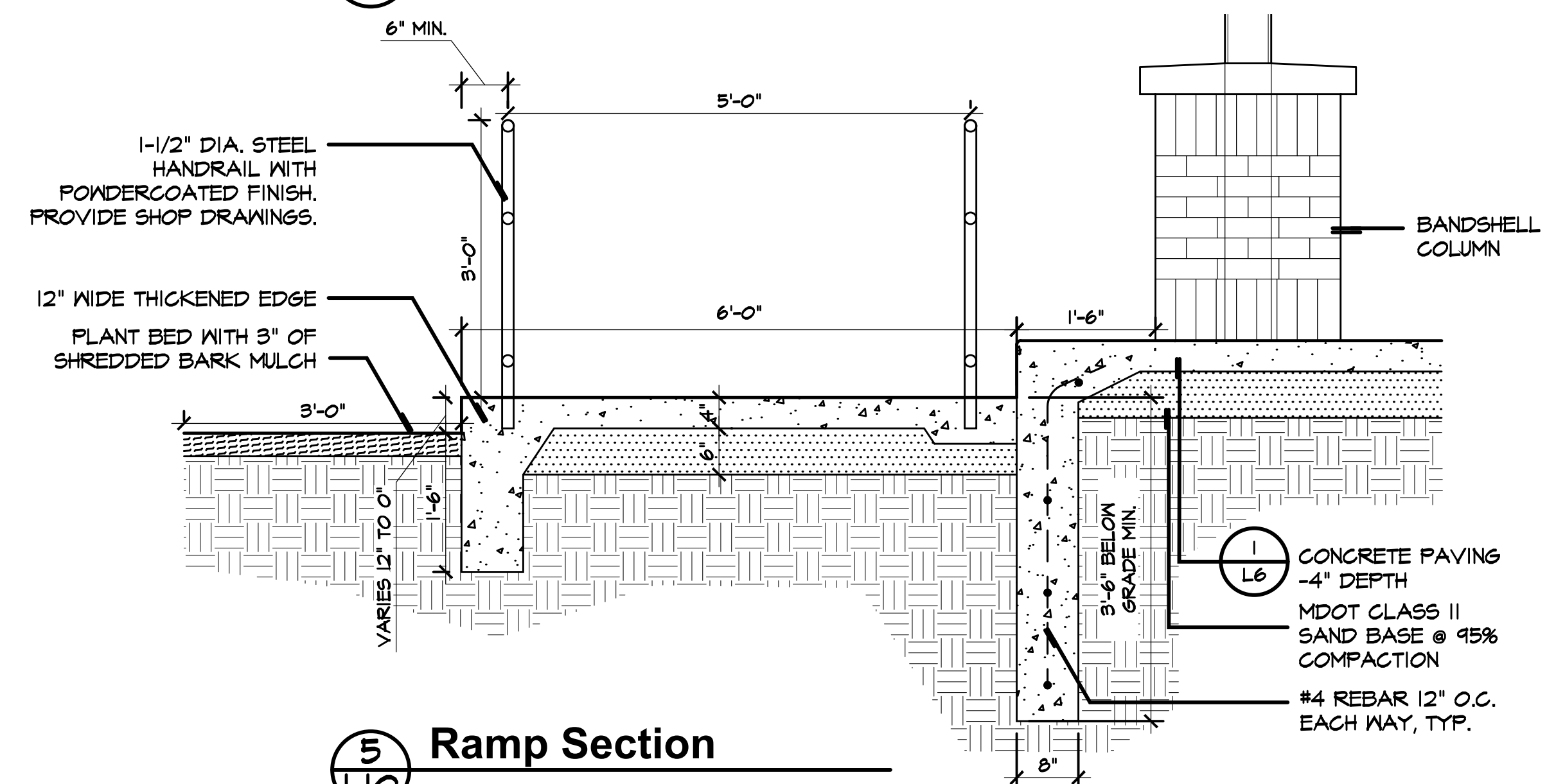


4 **Stage Ramp Elevation**
 Scale: 1/4"=1'-0"

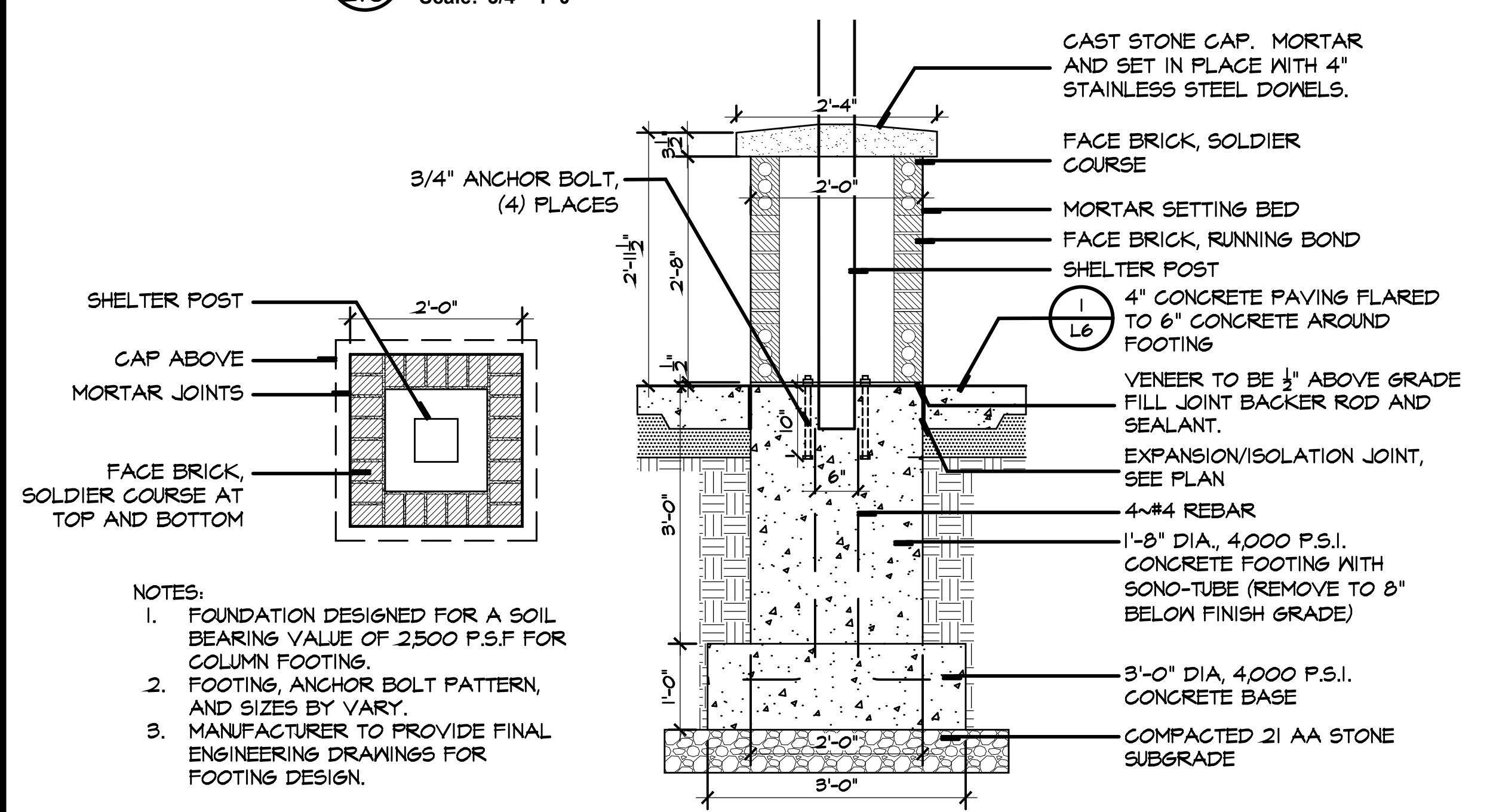




6 Concrete Stairs
Scale: 3/4"=1'-0"

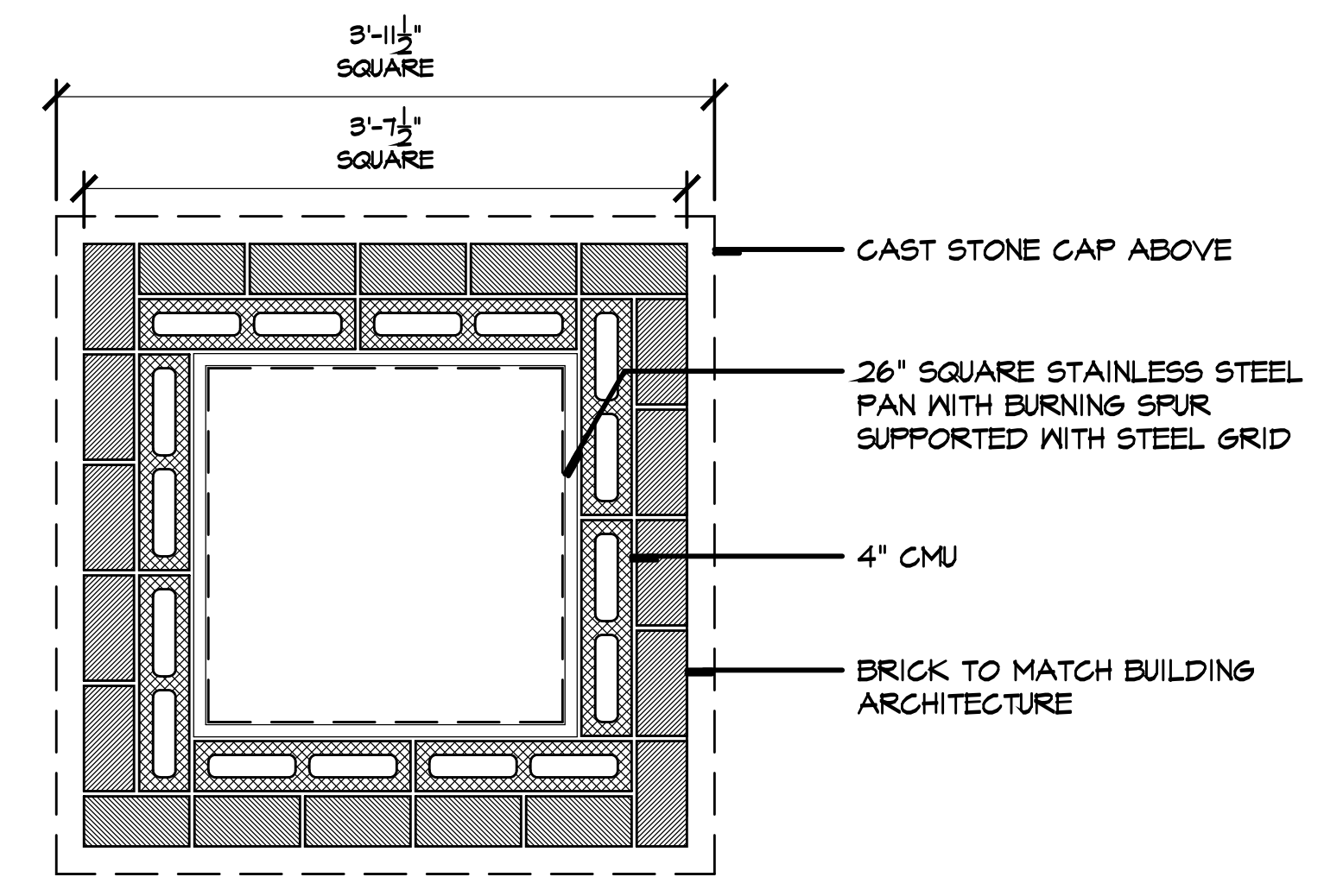


5 Ramp Section
Scale: 3/4"=1'-0"

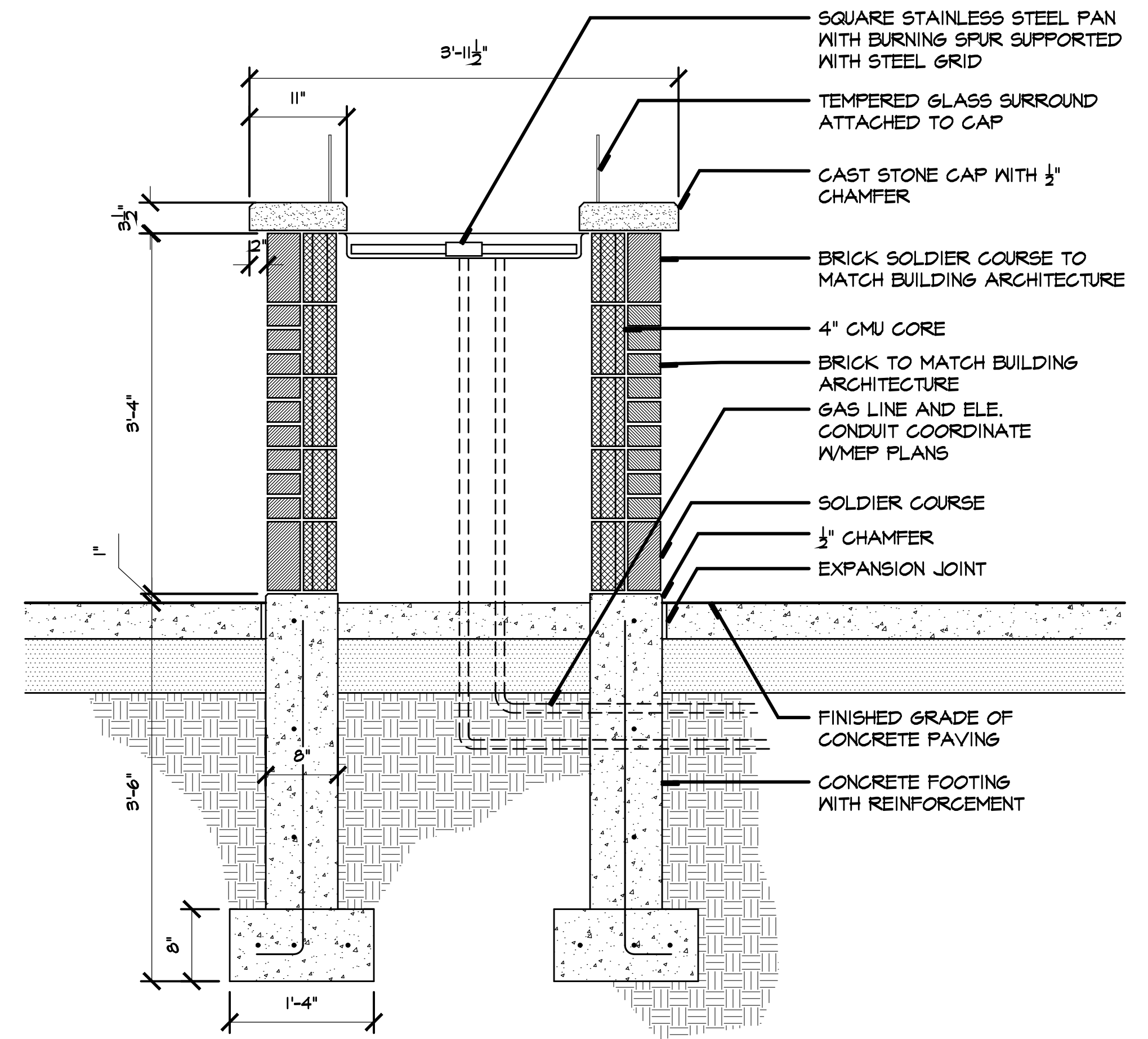


4 Shelter Column Section And Plan
Scale: 3/4"=1'-0"

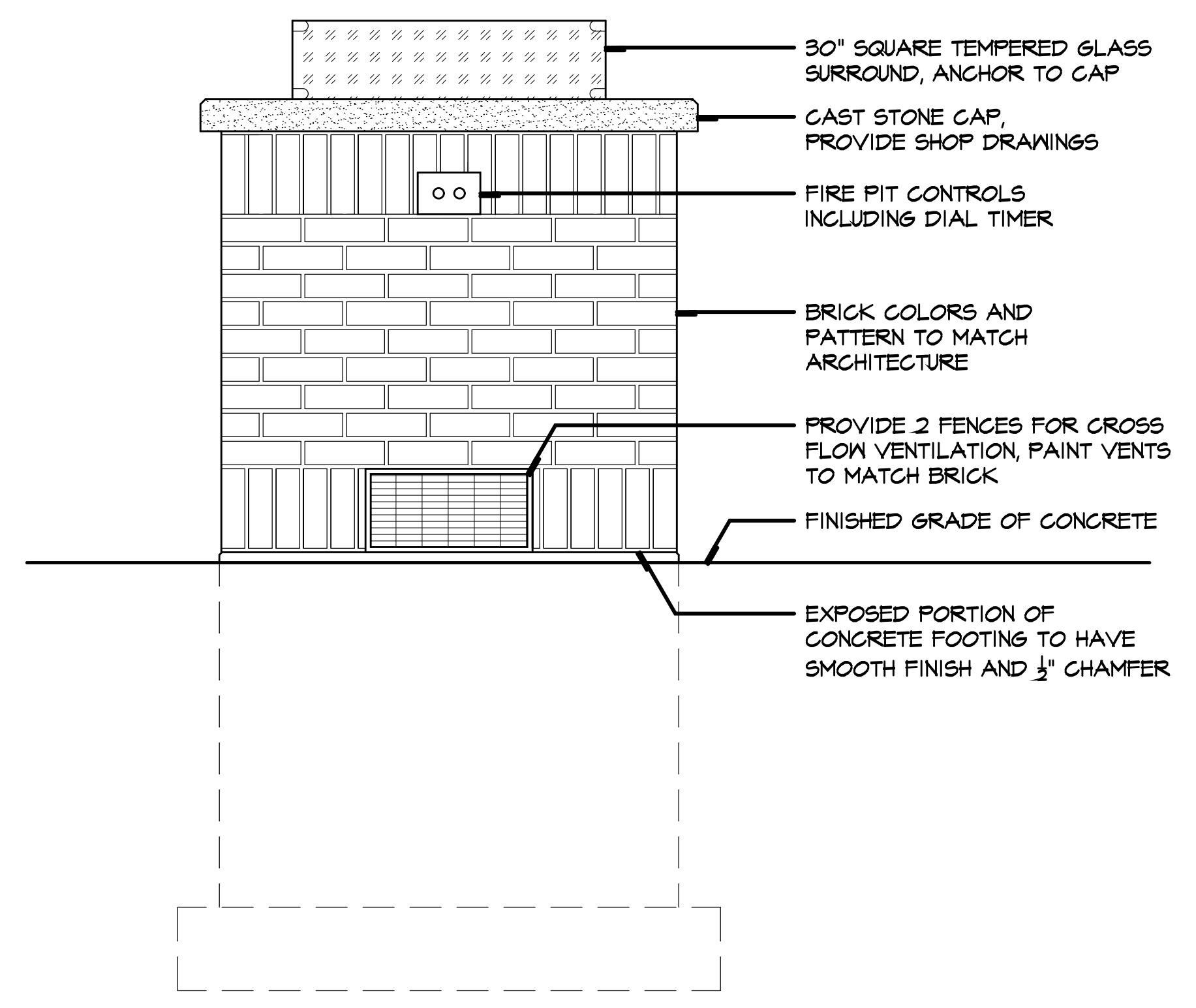
- FIRE PIT NOTES:**
1. FIRE PIT CONSTRUCTION IS DELEGATED DESIGN. THE FIRE PIT DETAILS ARE REPRESENTATIVE OF CONCEPT.
 2. FIRE PIT DETAILER TO SUBMIT ENGINEERED SHOP DRAWINGS SHOWING LAYOUT.
 3. ALL DIMENSION ARE APPROXIMATE AND CAN BE ADJUSTED BY FIRE PIT DETAILER AS NEEDED PER APPROVAL OF ARCHITECT AND OWNER.



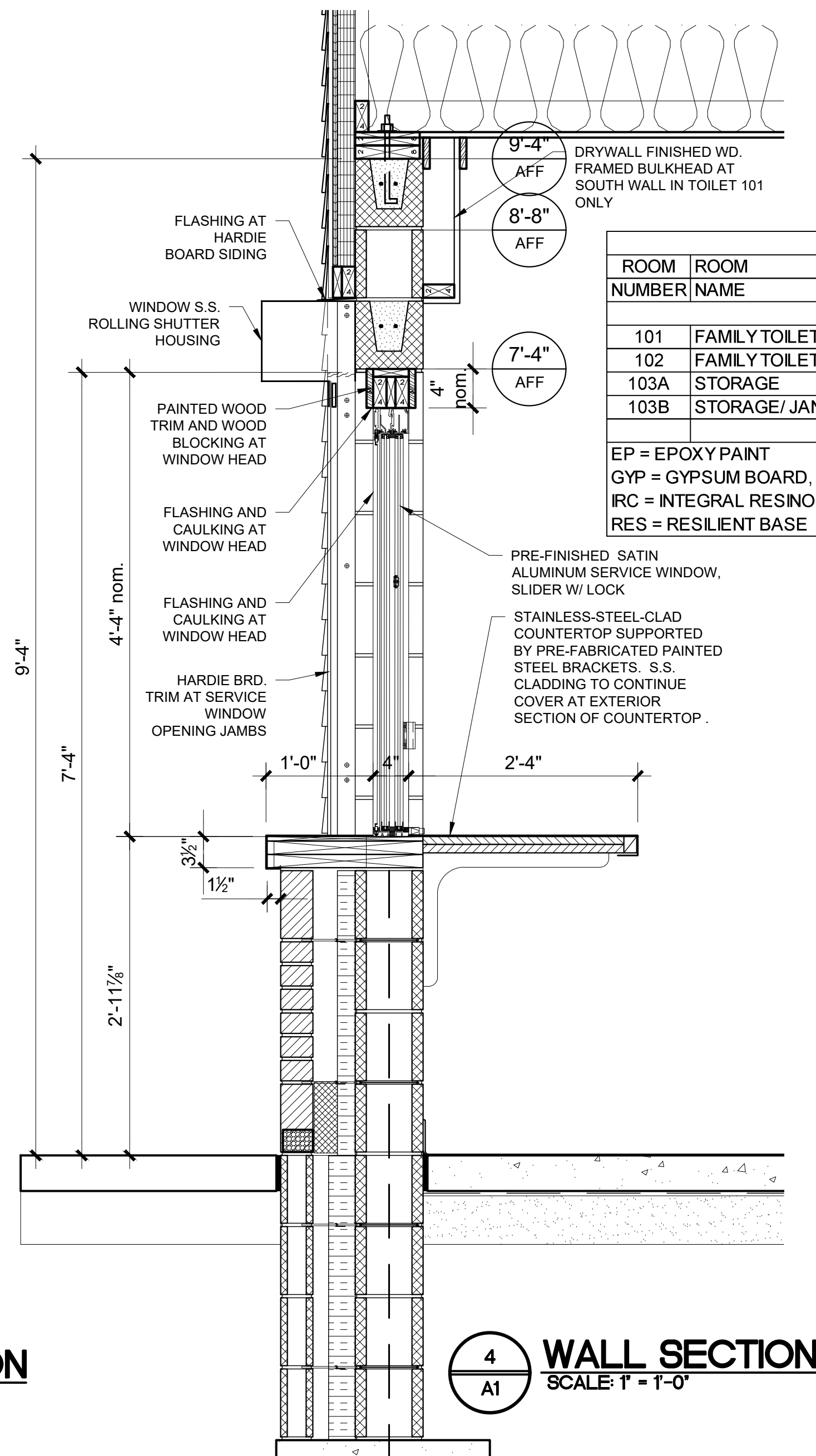
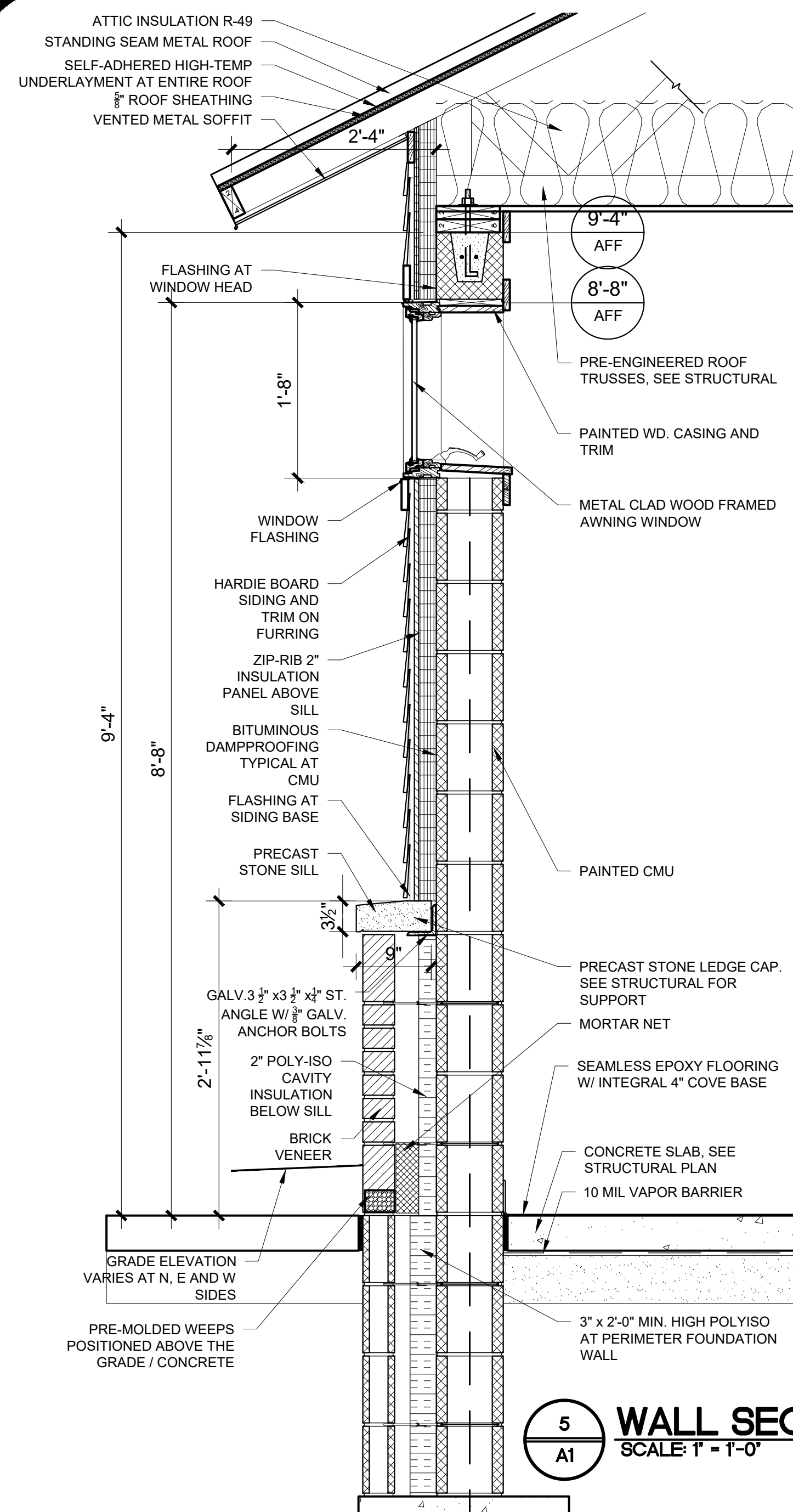
2 Fire Pit Plan Section
Scale: 1"=1'-0"



3 Fire Pit Section
Scale: 1"=1'-0"



1 Fire Pit Elevation
Scale: 1"=1'-0"

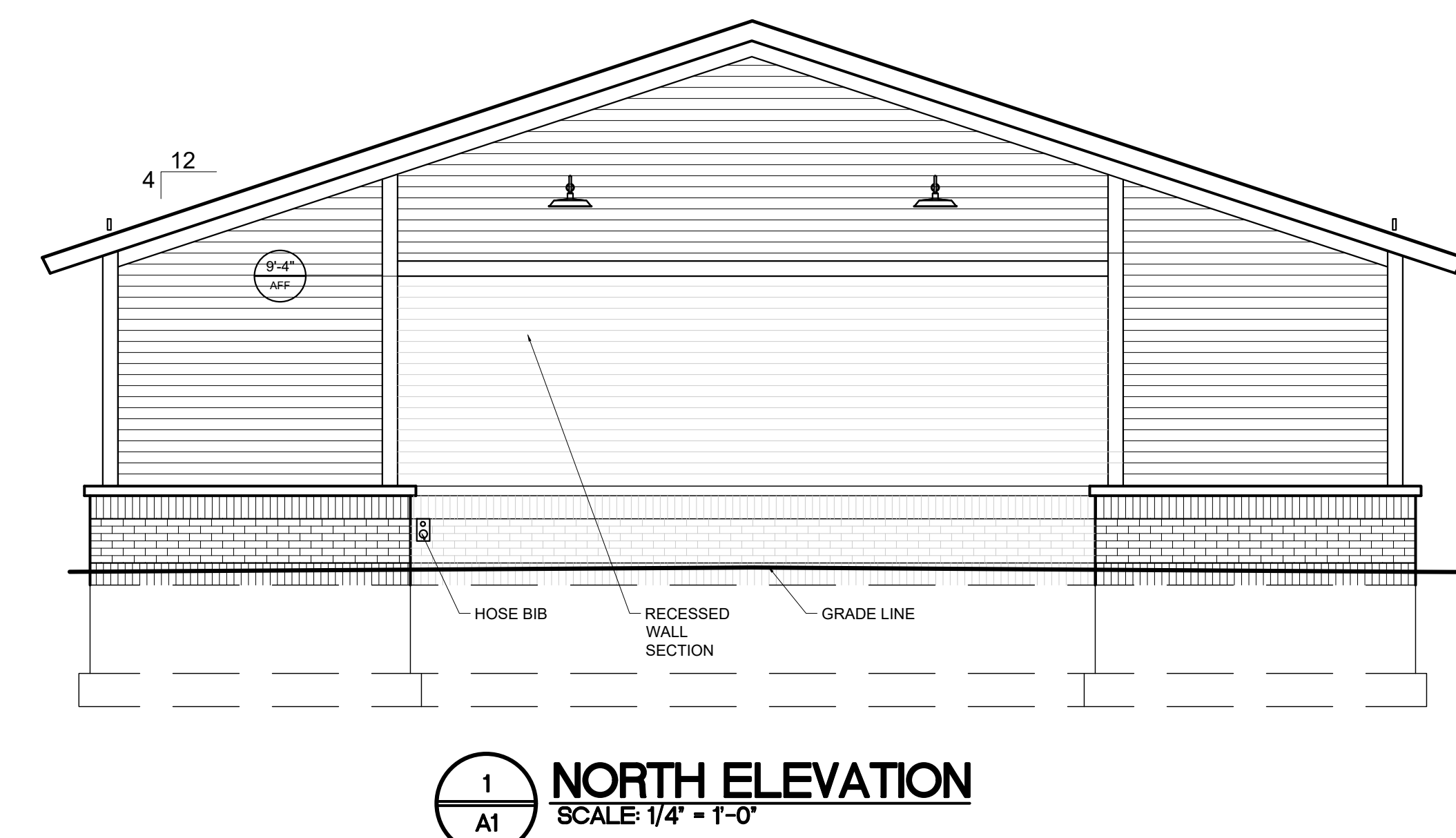
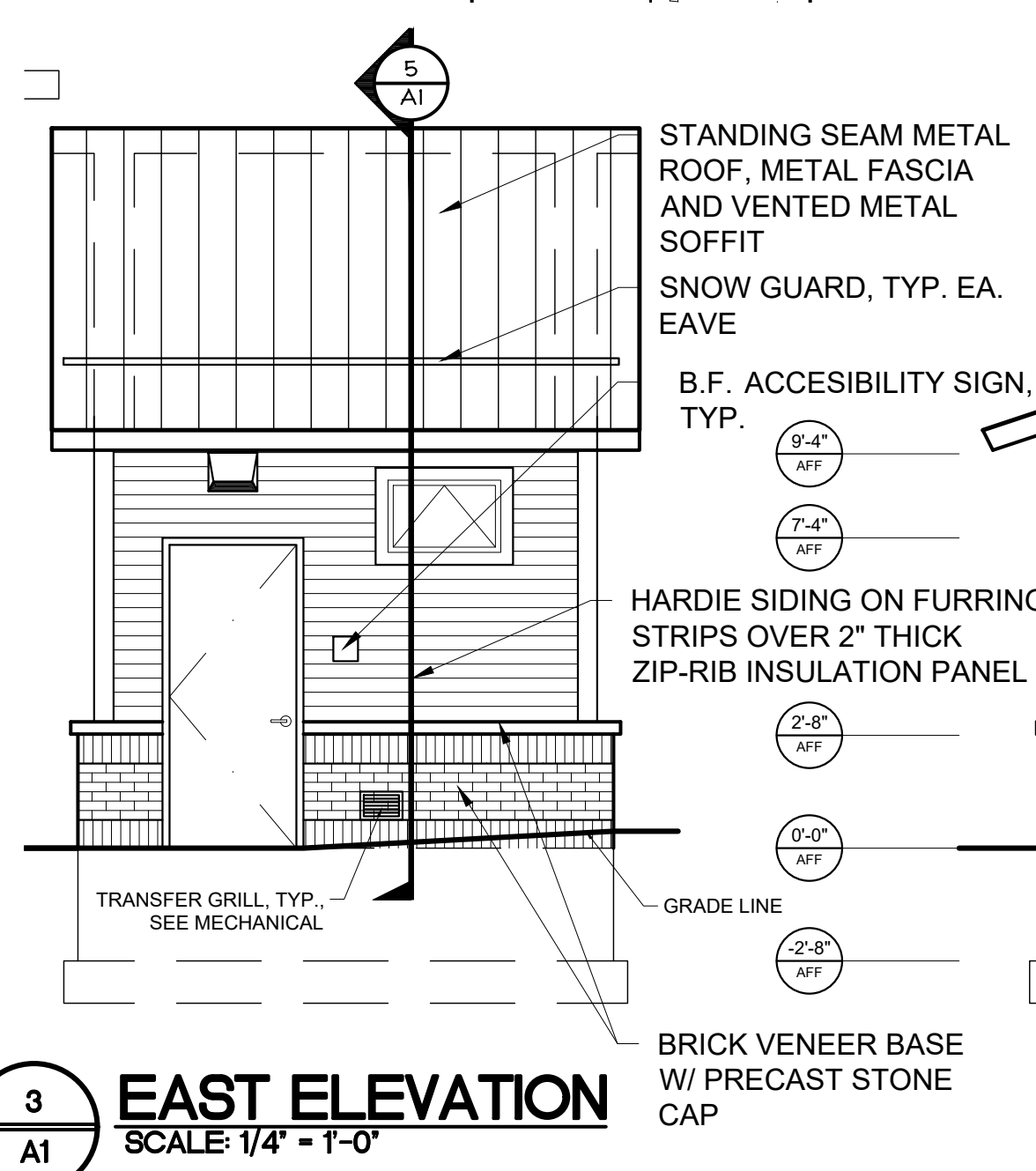
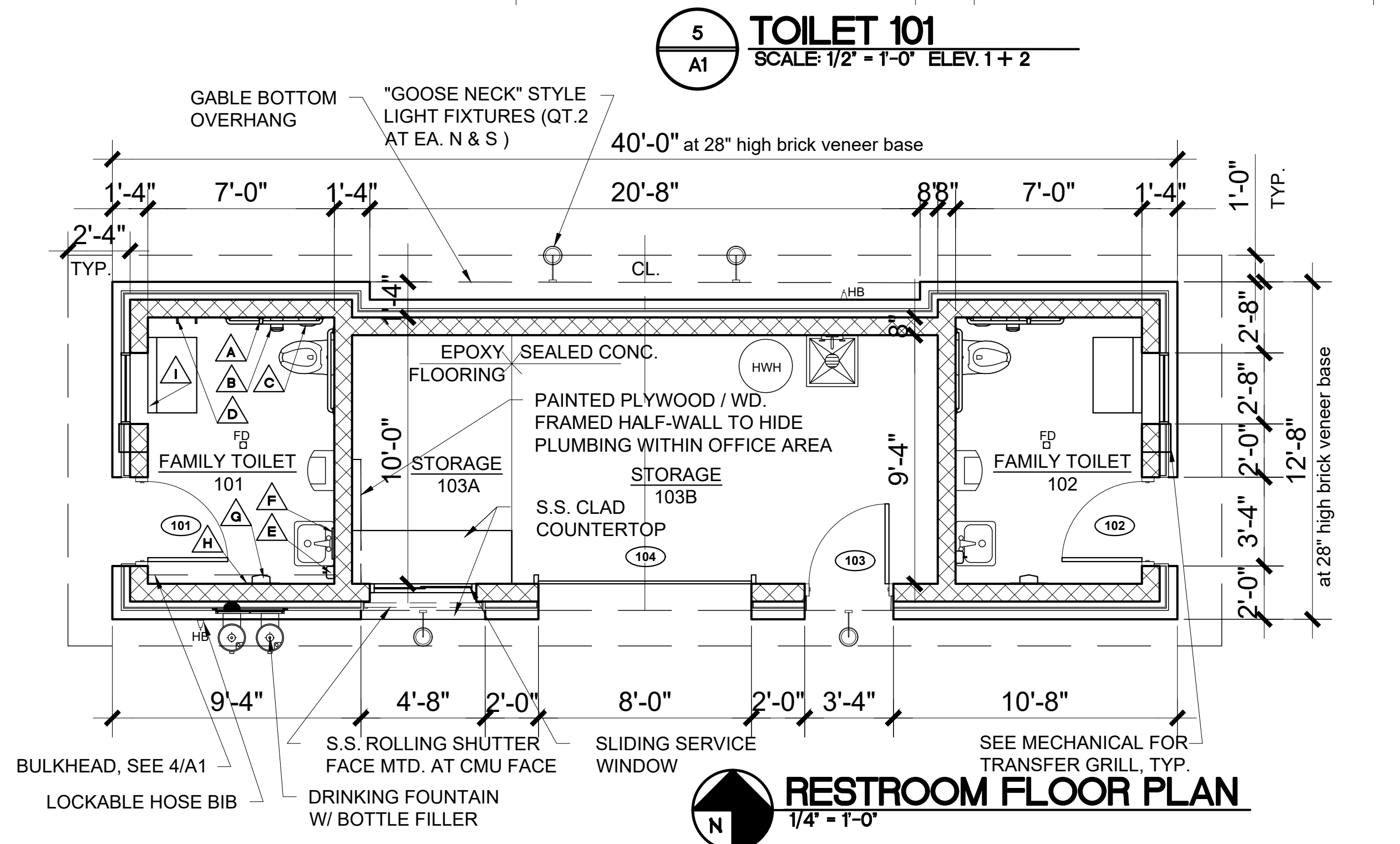
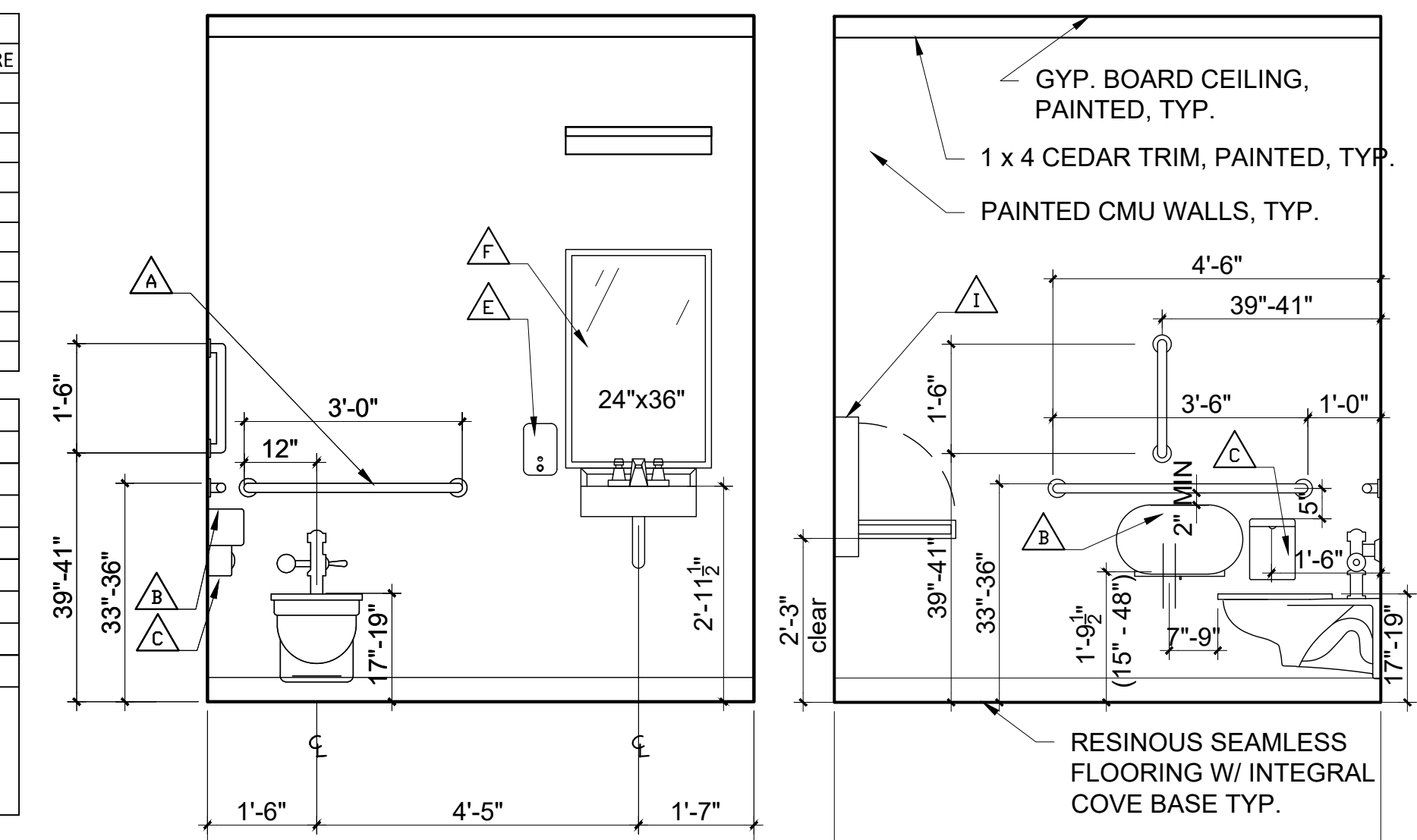


DOOR SCHEDULE									
NO.		ROOM	SIZE	DOOR	FINISH	FRAME	FINISH	HARDWARE	NOTES
101	101	FAMILY TOILET 101	3'-0" x 7'-2"	H.M.	PAINT	H.M.	PAINT	1	
102	102	FAMILY TOILET 102	3'-0" x 7'-2"	H.M.	PAINT	H.M.	PAINT	1	
103	103B	STORAGE/JANITORIAL	3'-0" x 7'-2"	H.M.	PAINT	H.M.	PAINT	2	
104	103B	STORAGE/JANITORIAL	8'-0" x 8'-0"	OVHD.	PRE-FIN	STL.	PAINT	3	

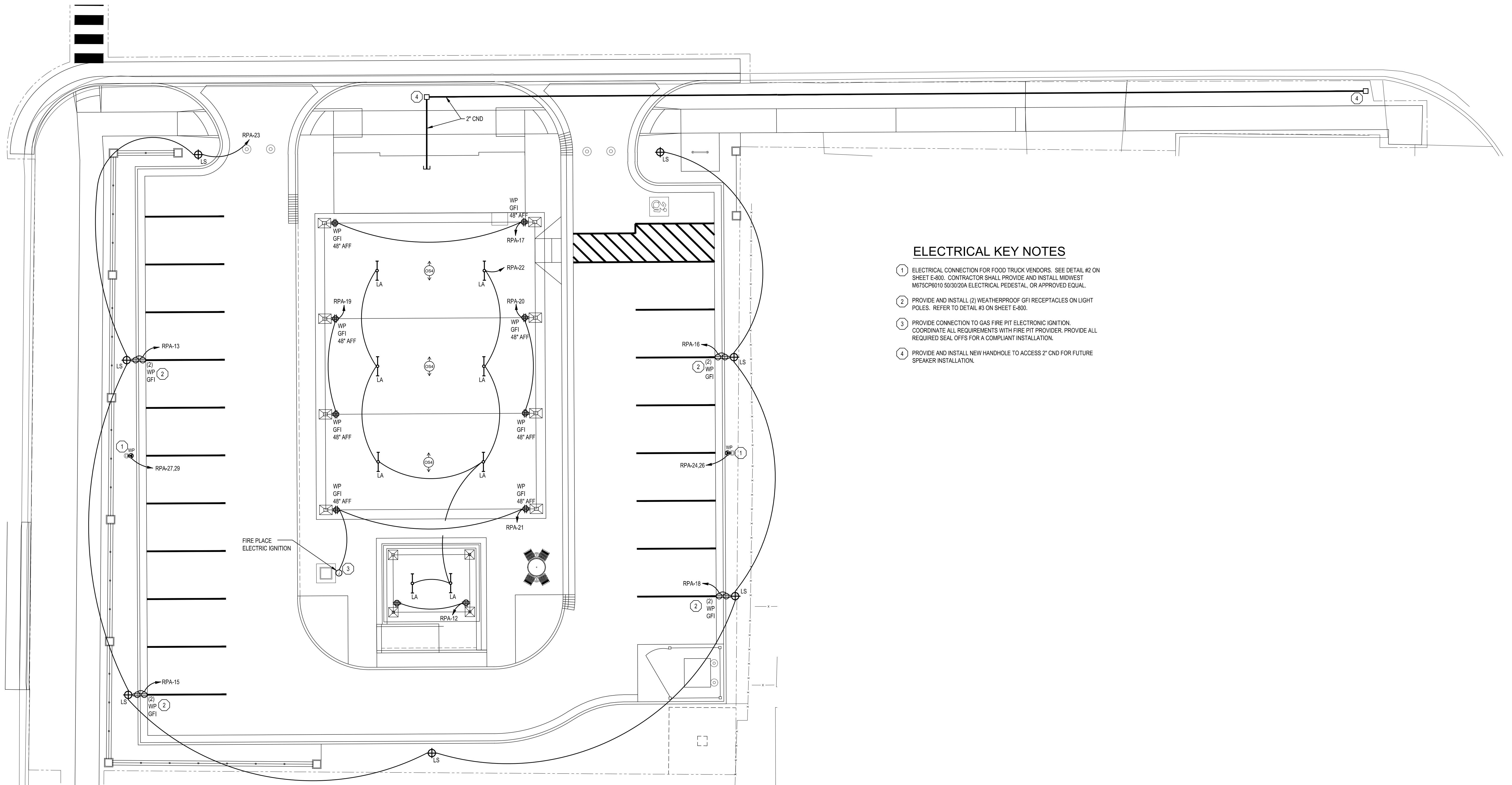
NOTES:
 1. PROGRAMMABLE MORTISE LOCK W/ PRIVACY FUNCTION. SEE SPECIFICATIONS. FRAME W/ 2" HEAD TYP.
 2. STORAGE FUNCTION MORTISE LOCK. SEE SPECIFICATIONS. DOOR IS SWINGING IN.
 3. OVERHEAD DOOR. SEE SPECIFICATIONS FOR HARDWARE.

ROOM FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR	BASE	MTL	WALLS	FINISH	MTL	CEILING	HT.
101	FAMILY TOILET 101	RESINOUS SEAMLESS	IRC	CMU	EP	GYP / EP	9'-4"		
102	FAMILY TOILET 102	RESINOUS SEAMLESS	IRC	CMU	EP	GYP / EP	9'-4"		
103A	STORAGE	RESINOUS SEAMLESS	IRC	CMU	EP	GYP / EP	9'-4"		
103B	STORAGE/JANITORIAL	SEALED CONCRETE	RES	CMU	EP	PLYWOOD/ PAINT	9'-4"		

EP = EPOXY PAINT
 GYP = GYPSUM BOARD, MOISTURE AND MOLD RESISTANT, HIGH- IMPACT
 IRC = INTEGRAL RESINOUS COVEBASE (4" HIGH MIN.)
 RES = RESILIENT BASE



TOILET ACCESSORY SCHEDULE	
A	GRAB BARS SET
B	TOILET TISSUE DISPENSER - BY OWNER
C	SANITARY NAPKIN DISPOSAL
D	COAT HOOK (x 2 PER ROOM)
E	LIQUID SOAP DISPENSER - BY OWNER
F	MIRROR
G	WARM AIR HAND DRYER
H	SOLID SURFACE BACKSPLASH PANEL 16"x 48"
I	DIAPER CHANGING STATION
J	ADULT CHANGING STATION - OMIT
QTY. 2 BARRIER FREE ROOM ACCESSIBILITY SIGN	



ELECTRICAL KEY NOTES

- 1 ELECTRICAL CONNECTION FOR FOOD TRUCK VENDORS. SEE DETAIL #2 ON SHEET E-800. CONTRACTOR SHALL PROVIDE AND INSTALL MIDWEST M675CP6010 50/30/20A ELECTRICAL PEDESTAL, OR APPROVED EQUAL.
- 2 PROVIDE AND INSTALL (2) WEATHERPROOF GF1 RECEPTACLES ON LIGHT POLES. REFER TO DETAIL #3 ON SHEET E-800.
- 3 PROVIDE CONNECTION TO GAS FIRE PIT ELECTRONIC IGNITION. COORDINATE ALL REQUIREMENTS WITH FIRE PIT PROVIDER. PROVIDE ALL REQUIRED SEAL OFFS FOR A COMPLIANT INSTALLATION.
- 4 PROVIDE AND INSTALL NEW HANDHOLE TO ACCESS 2" CND FOR FUTURE SPEAKER INSTALLATION.

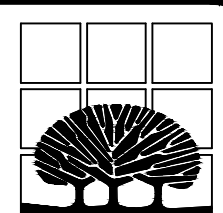
SITE PLAN - LIGHTING
 0 1 5 10 20 25
 SCALE: 1" = 10'

MATRIX
 CONSULTING ENGINEERS, INC.
 544 Cherbourg Drive
 Lansing, MI 48917
 PHONE: (517) 487-2511
 administrator@matrixceinc.com
 Matrix Project No. 260009.00

STATE OF MICHIGAN
 JOSEPH F. SOVIS, JR.
 ENGINEER
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 LICENSED PROFESSIONAL ENGINEER

DEWITT FARMERS MARKET
 CITY OF DEWITT, MICHIGAN

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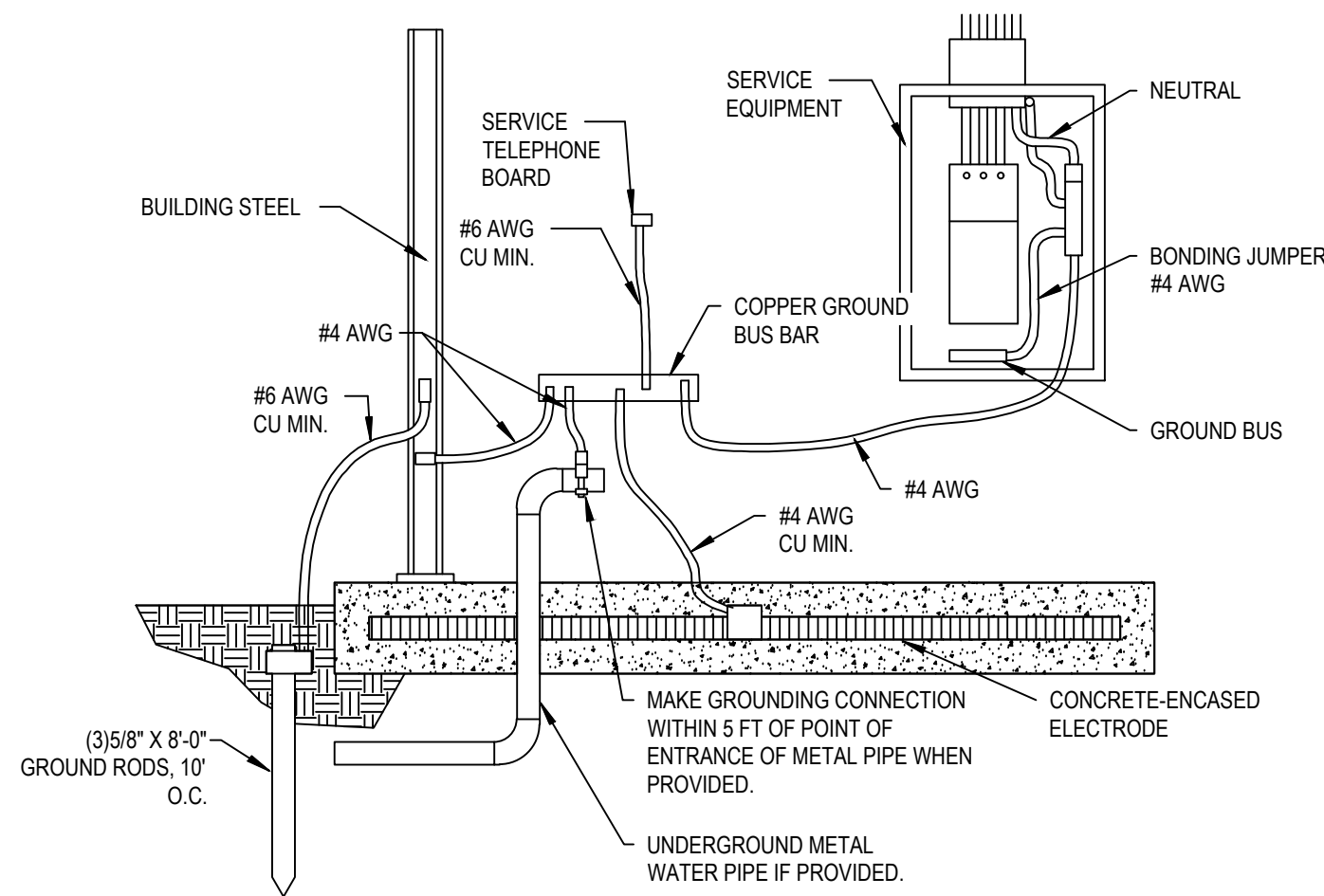


SCALE:
 NTS

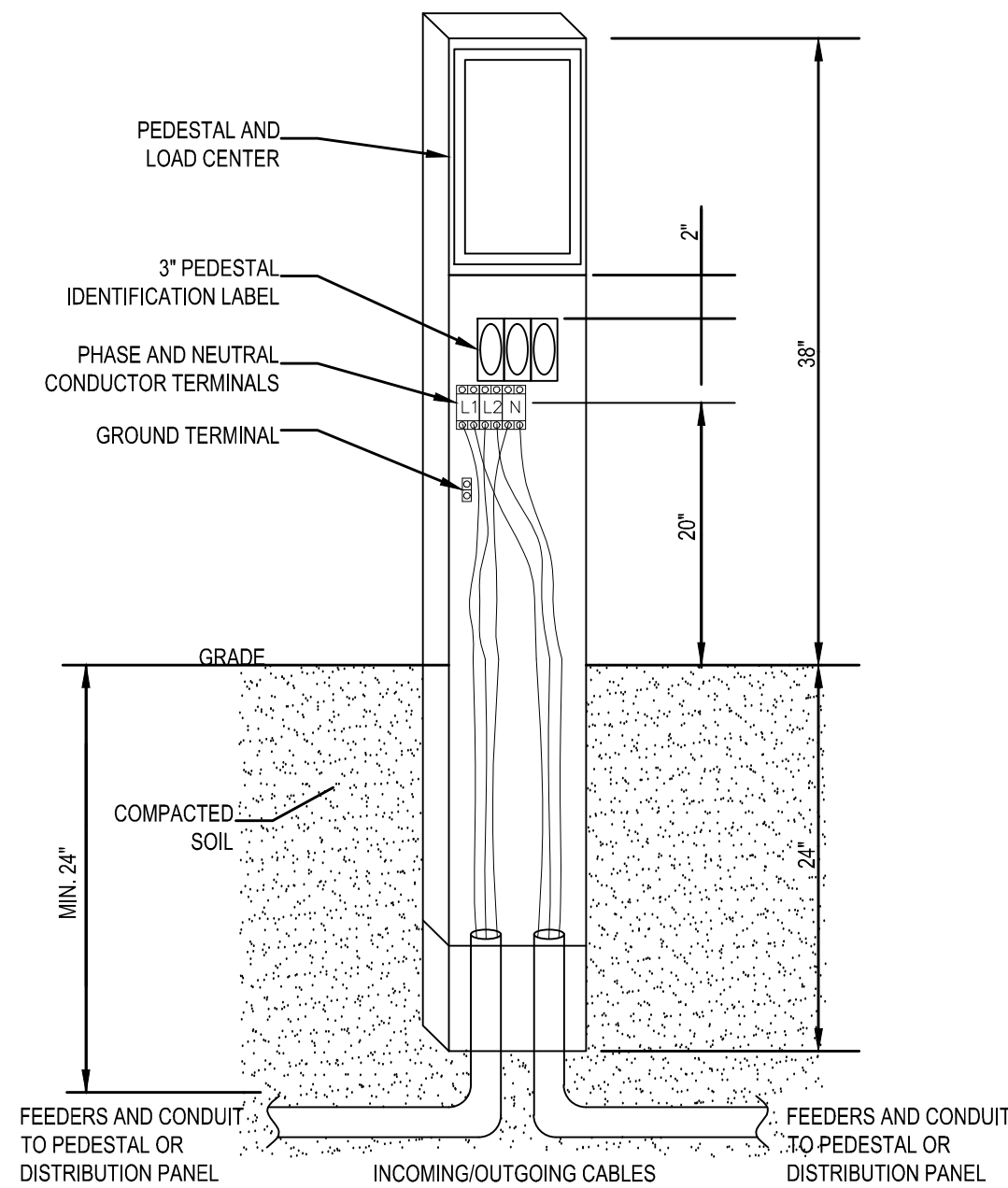
ELECTRICAL SITE PLAN
LIGHTING + POWER

DATE	REVISIONS
5.11.2026	

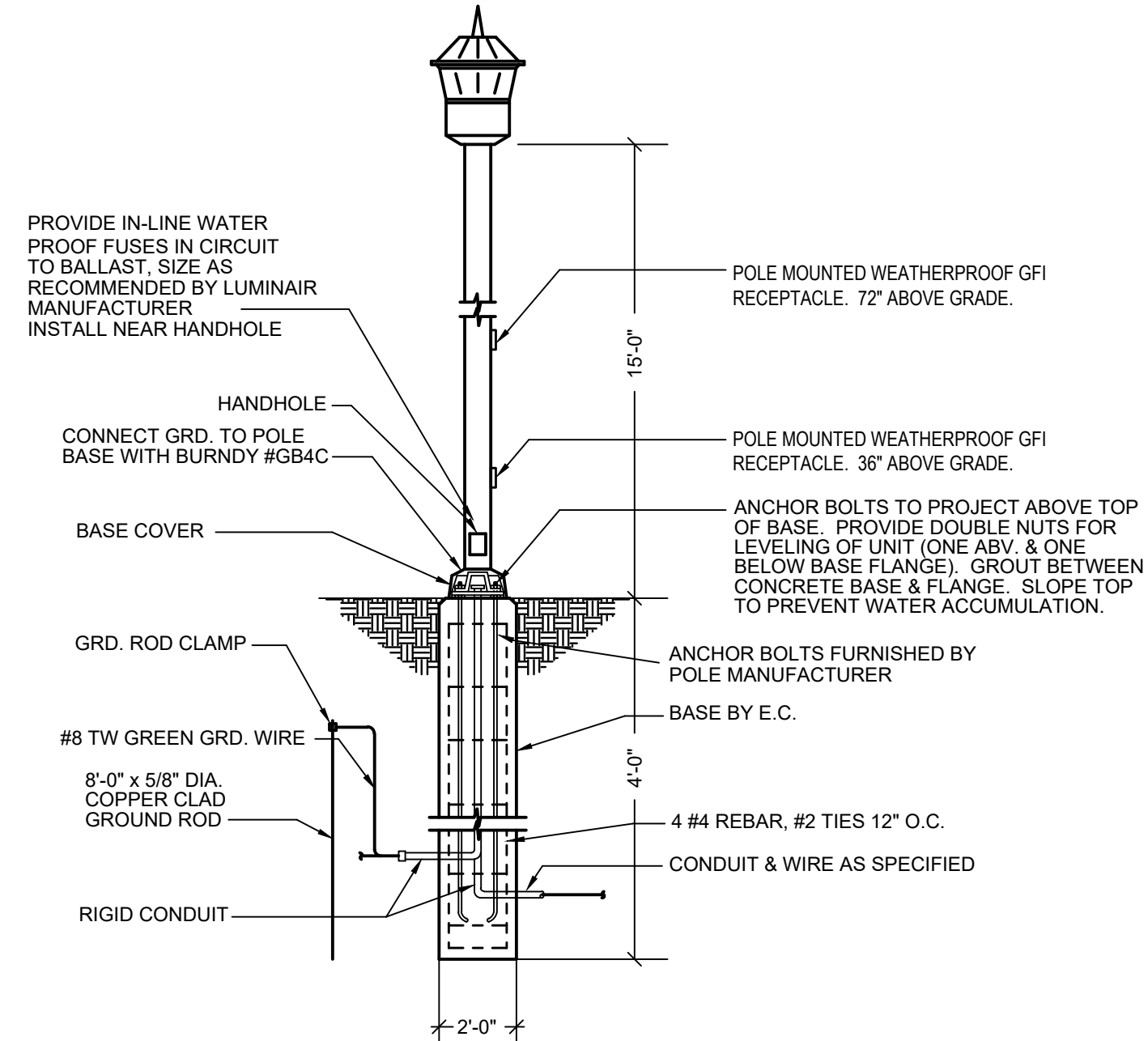
PROJECT NO.
 2273
 SHEET NO.
E-200



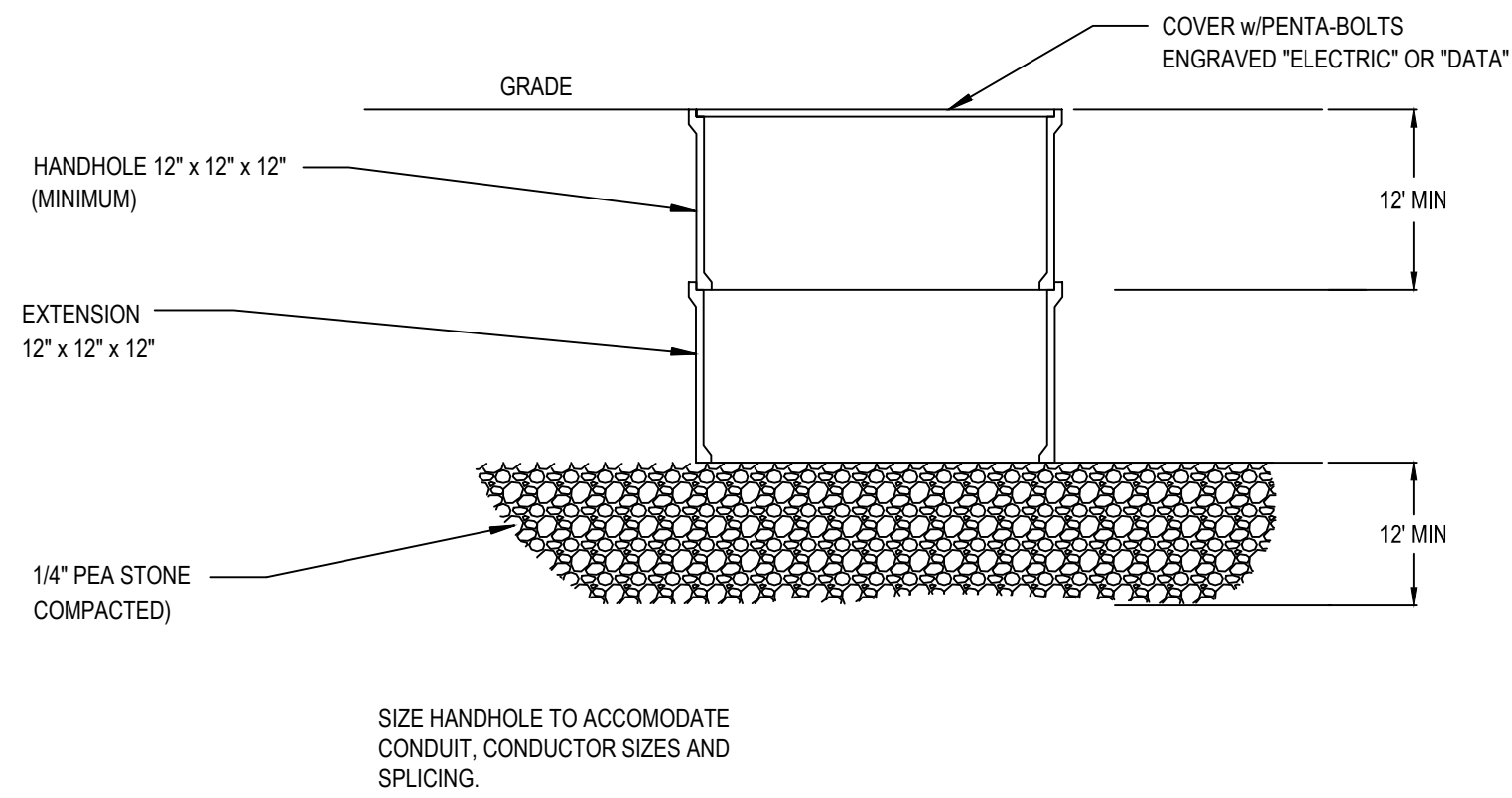
1 GROUNDING AND BONDING DETAIL (TYPICAL)
SCALE: N.T.S.



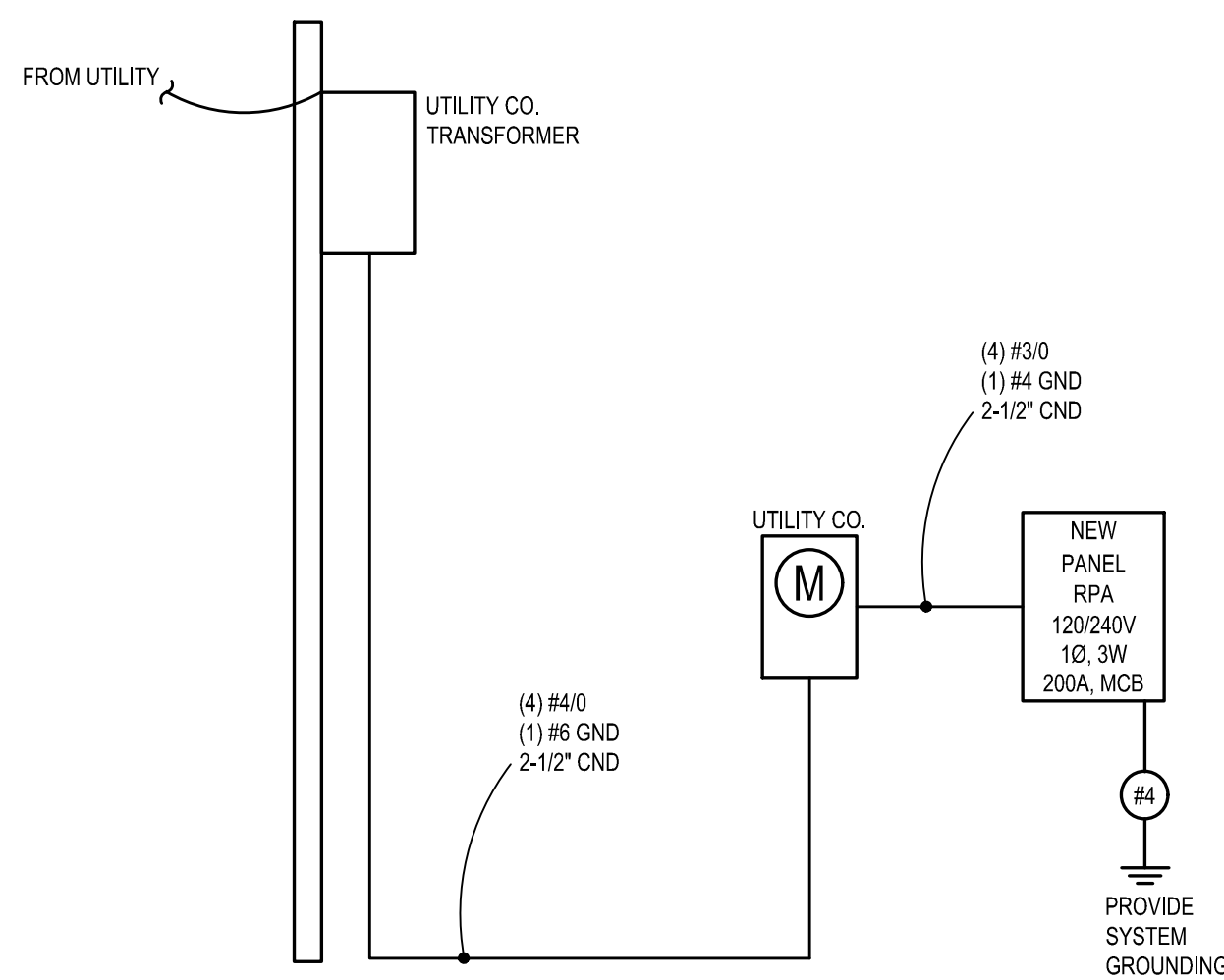
2 TYPICAL PEDESTAL INSTALLATION DETAIL
SCALE: N.T.S.



3 METAL POLE BASE DETAIL
SCALE: N.T.S.



4 HANDHOLE DETAIL
SCALE: N.T.S.

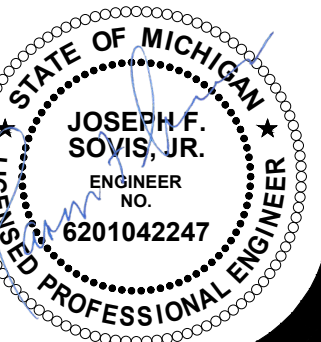


5 ELECTRICAL RISER DIAGRAM
SCALE: N.T.S.

PANEL "RPA"													
LOCATION: ROOM 103 SUPPLY FROM: UTILITY				MOUNTING: SURFACE ENCLOSURE: NEMA 1				A.I.C. RATING: NOTES:					
VOLTS: 240 /120			PHASE: 1			WIRE: 3			AMPS: 200 MAIN: MCB				
BRKR		DESCRIPTION	CIRCUIT		PHASE LOADS			CIRCUIT		DESCRIPTION	BRKR		
A	P		VA		A	C		VA	A		P		
20	1	EF-1,2	100	1	1350			2	1250	DWH-1	20	2	
20	1	STORAGE RECEPT	900	3			2150	4	1250	-	-	-	
20	1	HAND DRYER 1	950	5	1700			6	750	CUH-2	20	1	
20	1	EXTERIOR RECEPT	360	7			410	8	50	LIGHTING CONTROLS	20	1	
20	2	UH-1	1500	9	2420			10	920	HAND DRYER 2	20	1	
-	-	-	1500	11			2220	12	720	STAGE RECEPT	20	1	
20	1	POLE MOUNTED RECEPT	360	13	610			14	250	RESTROOM BUILDING LTG	20	1	
20	1	POLE MOUNTED RECEPT	360	15			720	16	360	POLE MOUNTED RECEPT	20	1	
20	1	PAVILION RECEPT	720	17	1080			18	360	POLE MOUNTED RECEPT	20	1	
20	1	PAVILION RECEPT	720	19			1440	20	720	PAVILION RECEPT	20	1	
20	1	PAVILION RECEPT	800	21	1192			22	392	PAVILION LTG	20	1	
20	1	POLE MOUNTED LTG	385	23			12385	24	12000	FOOD TRUCK CONNECTION	125	2	
20	1	CUH-1	750	25	12750			26	12000	-	-	-	
20	1	SPARE	0	27			0	28		SPARE	20	1	
20	1	SPARE	0	29	0			30		SPARE	20	1	
20	1	SPARE	0	31			0	32		SPARE	20	1	
20	1	SPARE	0	33	0			34		SPARE	20	1	
20	1	SPARE	0	35			0	36		SPARE	20	1	
20	1	SPARE	0	37	0			38		SPARE	20	1	
20	1	SPARE	0	39			0	40		SPARE	20	1	
CONNECTED			21102			19325			TOTAL CONNECTED LOAD			40427 VOLT-AMPS	
TOTAL CONNECTED			40427									168.45 AMPS	

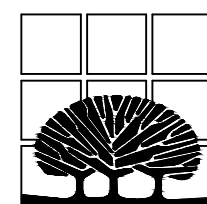
LOAD CALCULATIONS

LOAD TYPE	CONNECTED VA	DEMAND VA	N.E.C. SECTION
MECHANICAL	8970	8970	215.2(A)(1)
LIGHTING	1077	1346	215.2(A)(1)
RECEPTACLE	30380	20190	TABLE 220.44
KITCHEN EQUIPMENT	0	0	TABLE 220.56
OTHER	0	0	
TOTAL VA	40427	30506	
TOTAL AMPERAGE	168.45	127.11	



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SCALE:
NTS

ELECTRICAL DETAILS
+ SCHEDULES

DATE
5.11.2026
REVISIONS

PROJECT NO.
2273
SHEET NO.

E-800